
M E M O R A N D U M

DATE: October 3, 2008
TO: City Council Members
FROM: Janice Jardine, Land use Policy Analyst
RE: Petition Nos. 400-08-20 and 400-08-21– Salt Lake City Housing Authority request to rezone property at 1812 South West Temple Street from Single-Family Residential R-1/5,000 to Moderate/High Density Multi-Family Residential RMF-45 and amend the Central Community Master Plan

AFFECTED COUNCIL DISTRICTS: If the ordinance is adopted the rezoning and master plan amendment will affect Council District 5

ADMINISTRATIVE DEPT. AND CONTACT PERSON: Community Development Department, Planning Division
Michael Maloy, Principal Planner

This issue is being expedited at the request of the petitioner. Due to time constraints a complete Council staff report was not prepared rather staff has included key elements from the Administration’s transmittal and Planning staff report in this staff memo. For more detailed information please refer the Administration’s paperwork. Please see below for one Matter at Issue.

KEY ELEMENTS:

- A. An ordinance has been prepared for Council consideration to:
 - 1. Rezone property at approximately 1812 South West Temple Street from Single-Family Residential R-1/5,000 to Moderate/High Density Multi-Family Residential RMF-45, and
 - 2. Amend the Central Community Master Plan Future Land Use Map from Low Density Residential (1-15 dwelling units/acre) to Medium High Density Residential (30-50 dwelling units/acre).

- B. The rezoning and master plan amendments would facilitate construction of a 95-unit senior housing development. The Administration’s transmittal and Planning staff report note:
 - 1. The new residential dwelling units will be located in two separate three-story buildings.
 - 2. A historically significant single-family dwelling, Stanley F. and Matilda Sims Taylor house, is currently located on the property.
 - 3. The applicant intends to renovate the structure for use as a common amenity for the proposed residential development.
 - 4. The site plan indicates buildings will cover 34% of the site, landscaping 33%, driveways and parking 33%.
 - 5. Access is from West Temple Street with a secondary emergency access road connecting to Venture Way (1825 South).

- C. The purpose of the Single-Family Residential R-1/5,000 District is to provide for conventional single-family residential neighborhoods on lots not less than five thousand (5,000) square feet.
- D. The purpose of the Moderate/High Density Multi-Family Residential RMF-45 District is to provide an environment suitable for multi-family dwellings of a moderate/high density.
- E. The public process included a presentation to the Peoples Freeway Community Council and written notification of the Planning Commission hearing to surrounding property owners. The Administration's transmittal notes the following regarding the Community Council meeting.
 - 1. Although there were some comments of concern regarding the potential for negative traffic impacts, the Community Council was supportive of the project.
 - 2. In response to community concerns, the applicant committed to renovate the existing residence and later reduced the total number of dwelling units from 105 to 95.
- F. On September 24, 2008, the Planning Commission held a public hearing and reviewed the proposed rezoning and master plan amendments and the proposed residential planned development project. The Commission voted to forward a positive recommendation to the City Council to rezone the property and amend the Central Community Master Plan Future Land Use Map. In addition, the Planning Commission approved a planned development conditional use for the project with reductions in setback and buffer requirements subject to the following conditions:
 - 1. Property must be rezoned to permit construction of the planned development proposal. Failure to obtain appropriate zoning shall render Planning Commission approval null and void.
 - 2. Approval is subject to compliance with City Department comments.
 - 3. Illumination of parking lot shall be sufficient to ensure public safety; however, security lighting must be shielded to control light pollution and glare. Light pole height shall not exceed 15 feet. All lighting shall be oriented downward except for highlighting of building architecture and landscape features, or for low wattage decorative lighting.
 - 4. The preservation, exterior restoration and maintenance of the Stanley F. Taylor House shall comply with Section 21A.34.020.G and applicable Residential Design Guidelines for Residential Historic Districts in Salt Lake City.
 - 5. Landscaping plans shall be revised to comply with quantity and density requirements of buffer regulations, except for buffer width reductions specified in page 4 of the staff report. In addition, vertical growth landscaping shall be increased to mitigate the proposal to reduce building setbacks. Approval of final landscaping plan shall be delegated to the Planning Director.
 - 6. The private roadway shall remain at 26 feet. All building structures abutting south property line shall be shifted northward an additional two feet to increase landscape buffer to address privacy concerns.

MATTERS AT ISSUE /POTENTIAL QUESTIONS FOR THE ADMINISTRATION:

The Council may wish to consider requiring as a condition of the rezoning and master plan amendments that the applicant apply for designation of the Stanley F. Taylor home on the Salt Lake City Register of Cultural Resources prior to further demolition or construction activities on the property.

- A. This condition was included in the Planning staff recommendation to the Planning Commission for the planned development approval.
- B. The Planning Commission chose not to include this condition in the motion approving the planned development.
- C. The Planning Commission did specify as a condition of the planned development approval that preservation, exterior renovation and maintenance of the home shall comply with the Zoning Ordinance, Sec. 21A.34.020.G (Standards for Certificate of Appropriateness for Alteration of a Landmark Site or Contributing Structure) and (comply with) the applicable City Residential Design Guidelines for Residential Historic Districts.

MASTER PLAN AND POLICY CONSIDERATIONS:

- A. The Central Community Master Plan (November 2005) is the adopted land-use policy document that guides new development in this area. The Future Land Use Map identifies this area for Low Density Residential land uses (1-15 dwelling units/acre). As previously noted, amending the Future Land Use Map in the Plan to Medium/High Density Residential land uses is part of this petition. The Administration's transmittal and Planning staff report notes the following Master Plan statements, goals, and policies:
 - Preserve historic structures and residential neighborhoods. (page 3, Master Plan Goals, Central Community Master Plan)
 - The appropriate transition of multi-family housing with mixed land uses in designated areas supports sustainable development within the community. (page 3, Livable Communities and Neighborhoods)
 - Preserve low-density residential areas and keep them from being replaced by higher density residential and commercial uses. (page 9, Residential Land Use Policy)
- B. The City's Comprehensive Housing Plan policy statements address a variety of housing issues including quality design, public and neighborhood participation and interaction, transit-oriented development, encouraging mixed-use developments, housing preservation, rehabilitation and replacement, zoning policies and programs that preserve housing opportunities as well as business opportunities.
- C. The City's 1990 Urban Design Element includes statements that emphasize preserving the City's image, neighborhood character and maintaining livability while being sensitive to social and economic realities.
- D. The City's Strategic Plan and the Futures Commission Report express concepts such as maintaining a prominent sustainable city, ensuring the City is designed to the highest aesthetic

standards and is pedestrian friendly, convenient, and inviting, but not at the expense of minimizing environmental stewardship or neighborhood vitality. The Plans emphasize placing a high priority on maintaining and developing new affordable residential housing in attractive, friendly, safe environments.

- E. The Council’s growth policy notes that growth in Salt Lake City will be deemed the most desirable if it meets the following criteria:
1. Is aesthetically pleasing;
 2. Contributes to a livable community environment;
 3. Yields no negative net fiscal impact unless an overriding public purpose is served; and
 4. Forestalls negative impacts associated with inactivity.

CHRONOLOGY:

The Administration’s transmittal provides a detailed chronology relating to the proposed rezoning and master plan amendment. Key dates are listed below. Please refer to the Administration’s chronology for details.

- May 1, 2008 Peoples Freeway Community Council meeting
- June 6, 2008 Petition submitted to Planning Division
- August 6, 2008 Planning Commission subcommittee meeting
- September 24, 2008 Planning Commission hearing
- September 25, 2008 Ordinance requested from the City Attorney’s office
- September 30, 2008 Ordinance received from the City Attorney’s office
- October 8, 2008 Planning Commission ratify September 24th minutes

cc: David Everitt, Esther Hunter, Karen Hale, Lyn Creswell, Ed Rutan, Lynn Pace, Paul Nielson, Frank Gray, Mary De Le Mare-Schaefer, Wilf Sommerkorn, Pat Comarell, Orion Goff, Larry Butcher, Jeff Niermeyer, Tom Ward, Tim Harpst, Kevin Young, Michael Maloy, Gail Meakins, Council Liaisons, Mayors Liaisons

File Location: Community Development Dept., Planning Division, Rezoning and Master Plan Amendment, Housing Authority, 1812 S. West Temple

Subject Property

RO

R-1-5000

RMF-45

R-1-5000

RMF-35

CC

QUAYLE AVE

BOULEVARD GARDENS ST

VENTURE WAY

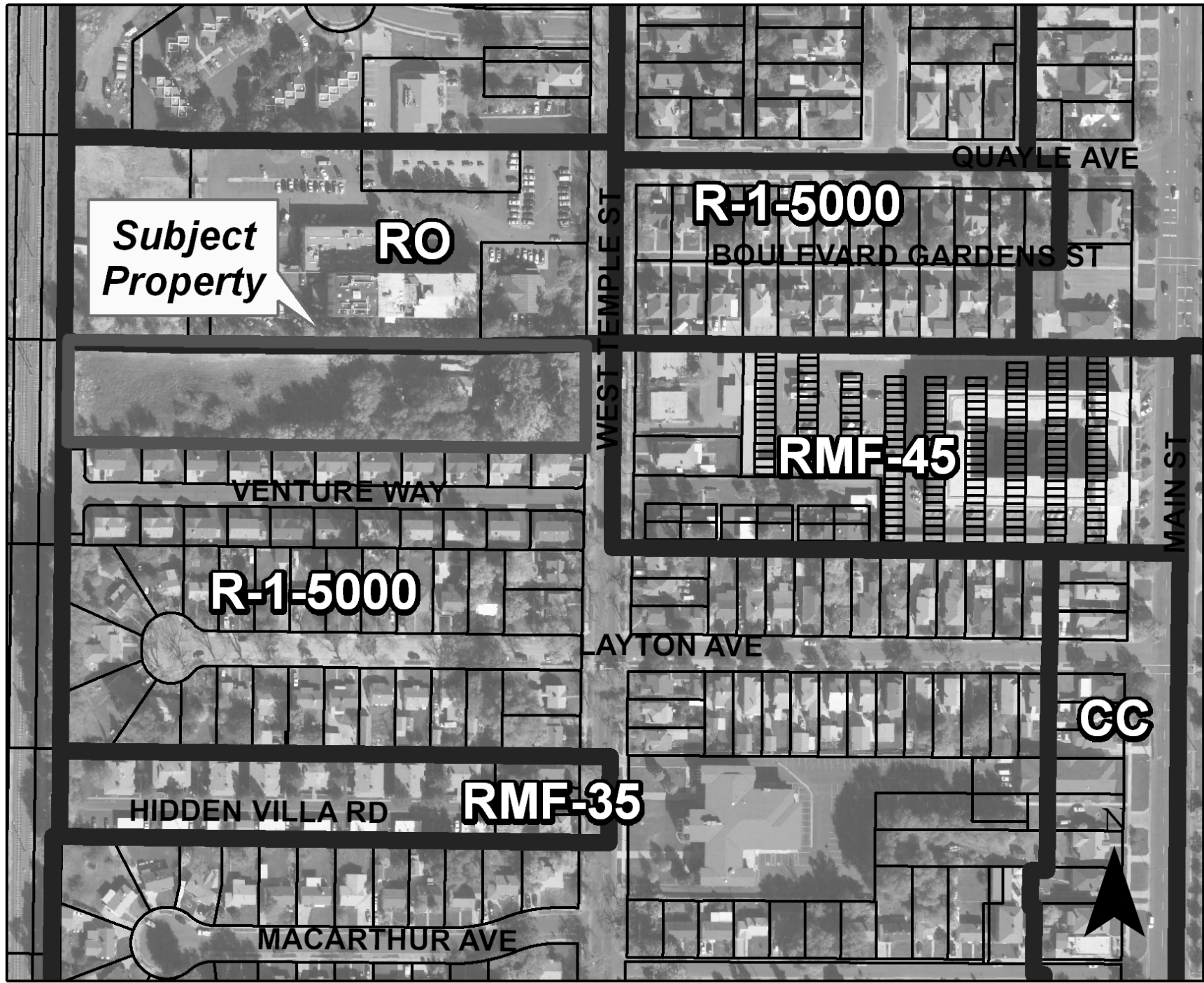
AYTON AVE

HIDDEN VILLA RD

MACARTHUR AVE

WEST TEMPLE ST

MAIN ST



SALT LAKE CITY CORPORATION

FRANK B. GRAY
DIRECTOR

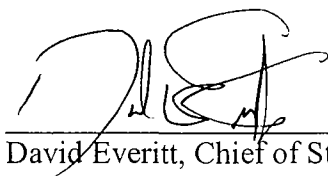
DEPARTMENT OF COMMUNITY & ECONOMIC DEVELOPMENT
OFFICE OF THE DIRECTOR

RALPH BECKER
MAYOR

MARY DE LA MARE-SCHAEFER
DEPUTY DIRECTOR

ROBERT FARRINGTON, JR.
DEPUTY DIRECTOR

CITY COUNCIL TRANSMITTAL



David Everitt, Chief of Staff

Date Received: Sept 30, 2008

Date Sent to City Council: 9/30/2008

TO: Salt Lake City Council
Jill Remington-Love, Chair

DATE: September 30, 2008

FROM: Frank Gray, Community & Economic Development Director

RE: Petition Nos: 400-08-20 Master Plan Amendment and 400-08-21 Zoning Map Amendment—the Housing Authority of Salt Lake City has requested amendment of the Central Community Future Land Use map for 2.425 ± acres of property located at 1812 S West Temple Street from Low Density Residential (1-15 dwelling units/acre) to Medium High Density Residential (30-50 dwelling units/acre). The applicant has also requested amendment of the Salt Lake City Zoning Map from R-1/5,000 Single-Family Residential District to RMF-45 Moderate/High Density Multi-Family Residential District for the aforementioned property.

STAFF CONTACTS: Michael Maloy, AICP, Principal Planner, at 535-7118 or michael.maloy@slcgov.com

RECOMMENDATION: That the City Council hold a briefing and schedule a public hearing.

DOCUMENT TYPE: Ordinance

BUDGET IMPACT: None.

PLANNING COMMISSION

RECOMMENDATION: Forward a positive recommendation to the City Council on both petitions.

DISCUSSION:

Issue Origin: On June 6, 2008, the Housing Authority of Salt Lake City submitted a request for City approval of a master plan amendment, zoning map amendment, and planned development to

construct a 95 unit senior housing project located at 1812 South West Temple Street. The subject property contains 2.425 ± acres and is currently zoned R-1/5,000 Single-Family Residential.

Analysis: The subject property measures approximately 144 feet wide by 736 feet deep and contains a single-family dwelling. Due to the narrow width and relative depth of the subject property, if the property were to develop for single-family detached residential land uses, a roadway would likely be located through the center of the property, which would limit potential development and require demolition of the existing structure. The structure, known as the Stanley F. Taylor home, built in 1907, is identified as significant and a very good example of a stylized version of the Box Style house in the 1985 *Salt Lake City Architectural Survey-Southwestern Survey Area*. In an effort to preserve the building and make the project economically feasible, the applicant submitted the aforementioned petitions.

The applicant intends to renovate the historic structure for use as a common amenity for the proposed residential development. The new residential dwelling units will be located within two separate three-story buildings.

The proposal also included a request for planned development approval (Petition No. 410-08-51), which the Planning Commission approved on September 24, 2008 conditioned on the adoption of the master plan and zoning map amendments. One of the conditions the Planning Commission included in its motion for Planned Development approval, was that the exterior renovation and alterations of the Taylor house must comply with the adopted policy document titled *Residential Design Guidelines for Residential Historic Districts in Salt Lake City*, which the Planning Division and Historic Landmark Commission use to ensure appropriate exterior renovation to structures in local historic districts and to Landmark Sites.

Master Plan Consideration: The subject property lies within the area governed by the policies of the Central Community Master Plan. The applicant has requested an amendment of the Central Community Future Land Use map from Low Density Residential (1-15 dwelling units/acre) to Medium High Density Residential (30-50 dwelling units/acre) for the subject property. The Central Community Master Plan offers the following description of the proposed residential land use:

Medium/High-Density Residential. This land use designation is applicable in areas within the Central Community where townhouses and apartments are the dominant land use. This residential land use classification encourages townhouse style development with up to six units in a row, but also allows apartments. Medium/high-density residential areas have multi-story residential structures built at a mid-rise level of three to four stories. Examples are scattered in East Downtown, the Central Business District, the Gateway area, and in the areas between South Temple and 300 South from 500 East to 800 East (page 8, Residential Land Use).

The area has a mix of multi-family and low-density residential (single-family and two-family) dwellings. In preparation for the Planning Commission's public hearing of the proposed amendment, staff complied with the public notice requirements found in Utah Code 10-9a-404, which regulates municipalities when considering an amendment to a general plan (i.e. master

plan). Staff also reviewed the proposed amendment for consistency with the Central Community Master Plan and determined that the following statements, goals, and policies are relative to the petition:

- Preserve historic structures and residential neighborhoods (page 3, Master Plan Goals, Central Community Master Plan).
- The appropriate transition of multi-family housing with mixed land uses in designated areas supports sustainable development within the community (page 3, Livable Communities and Neighborhoods, Central Community Master Plan).
- Preserve low-density residential areas and keep them from being replaced by higher density residential and commercial uses (page 9, Residential Land Use Policy, Central Community Master Plan).

If approved, the amendment would allow medium/high density residential development of the subject property (as proposed by the applicant). Appropriate City Departments and Divisions have reviewed the request and have no objection to the amendments.

PUBLIC PROCESS:

The subject property lies within the People's Freeway Community Council boundaries. The master plan, zoning amendment, and planned development petitions were reviewed during a public meeting held on May 1, 2008. Although there were some comments of concern regarding the potential for negative traffic impacts, the Community Council was supportive of the project. In response to community concerns, the applicant committed to renovate the existing residence, and later reduced the total number of dwelling units from 105 to 95.

The Planning Commission held a public hearing on September 24, 2008. There were no issues raised at the public hearing. The Planning Commission passed a motion to recommend approval of the requested master plan and zoning map amendments. The vote was seven (7) in favor; and zero (0) opposed.

Following the Planning Commission meeting, staff did receive one e-mail from a resident living on the street south of the project, whose property abuts the proposed development. The resident opposes the petitions based on the increased density, potential traffic impacts and the emergency fire access onto Venture Way. (*see attachment 6*)

RELEVANT ORDINANCES:

Amendments to the Zoning Ordinance and Maps are authorized under Section 21A.50 of the Salt Lake City Zoning Ordinance, as detailed in Section 21A.50.050: "A decision to amend the text of this title or the zoning map by general amendment is a matter committed to the legislative discretion of the City Council and is not controlled by any one standard." However, City Code does list five standards that should be analyzed prior to rezoning property (Section 21A.50.050 A-E). Staff has analyzed the five standards starting on page 5 of the attached Planning Commission Staff Report (see Attachment 5.B).

Sections 10-9a-204 and 205 of the Utah Code Title 10, Chapter 9a, Municipal Land Use, Development and Management Act regulate the requirements for noticing a general plan amendment and land use ordinance amendment. The petitions for zoning and master plan amendment were published in the *Deseret News* on September 29, 2008 meeting State Code noticing requirements.

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1. PROJECT CHRONOLOGY

PROJECT CHRONOLOGY
Petition Nos. 400-08-20 & 400-08-21

- May 1, 2008 Applicant appeared before the People's Freeway Community Council to discuss pending development plan, including master plan and zoning map amendments. Staff attends public meeting.
- June 6, 2008 Petitions submitted to City for consideration and processing.
- June 11, 2008 Petitions assigned to Michael Maloy, AICP, Principal Planner for staff analysis and processing.
- July 9, 2008 Routed petitions to City Departments for comment and recommendation.
- August 6, 2008 Petitions reviewed during a Planning Commission Sub-Committee meeting. Applicant and staff attended meeting.
- September 9, 2008 Planning Commission public hearing notice mailed to affected property owners and other interested parties.
- September 10, 2008 Planning Commission public hearing notice published in local newspaper.
- September 10, 2008 A sign was posted on the property with information relating to the Planning Commission public hearing.
- September 24, 2008 Planning Commission held a public hearing and voted 7-0 to recommend approval of petitions to the City Council.
- September 25, 2008 Staff requested draft of proposed ordinance from City Attorney's Office.
- September 30, 2008 Staff received draft of proposed ordinance from City Attorney's Office.
- October 8, 2008 Planning Commission to ratify minutes for September 24, 2008 meeting.

2. PROPOSED ORDINANCE

SALT LAKE CITY ORDINANCE
No. _____ of 2008

(Rezoning Property Located at 1812 South West Temple Street, and Amending the Central Community Master Plan and Zoning Map, with conditions and time limitation)

AN ORDINANCE REZONING PROPERTY LOCATED AT 1812 SOUTH WEST TEMPLE STREET, AND AMENDING THE CENTRAL COMMUNITY MASTER PLAN AND ZONING MAP, PURSUANT TO PETITION NOS. 400-08-20 and 400-08-21.

WHEREAS, the Salt Lake City Planning Commission (“Planning Commission”) held a public hearing on September 24, 2008 on applications made by the Housing Authority of Salt Lake City to amend the Central Community Master Plan (Application No. 400-08-20) and to amend the Salt Lake City zoning map (Application No. 400-08-21); and

WHEREAS, at its September 24, 2008 meeting, the Planning Commission voted in favor of forwarding a positive recommendation to the Salt Lake City Council (“City Council”) on said applications; and

WHEREAS, after a hearing before the City Council, the City Council has determined that the following ordinance is in the best interest of the City.

NOW, THEREFORE, be it ordained by the City Council of Salt Lake City, Utah:

SECTION 1. Amending master plan. The Future Land Use Map of the Central Community Master Plan shall be and hereby is amended to change the designated appropriate land use for the property located at 1812 South West Temple Street, which is more particularly described in Exhibit “A” hereto, from Low Density Residential (1-15 dwelling units/acre) to Medium High Density Residential (30-50 dwelling units per acre).

SECTION 2. Rezoning of property. The property located at 1812 South West Temple Street, which is more particularly described in Exhibit “A” hereto, shall be and hereby is rezoned

from R-1/5,000 Single-Family Residential District to RMF-45 Moderate/High Density Multi-Family Residential District.

SECTION 3. Amending zoning map. The Salt Lake City zoning map, as adopted by the Salt Lake City Code, relating to the fixing of boundaries and zoning districts, shall be and hereby is amended consistent with the rezoning identified above.

SECTION 4. Effective Date. This ordinance shall become effective on the date of its first publication.

Passed by the City Council of Salt Lake City, Utah, this _____ day of _____, 2008.

CHAIRPERSON

ATTEST AND COUNTERSIGN:

CHIEF DEPUTY CITY RECORDER

Transmitted to Mayor on _____.

Mayor's Action: _____ Approved. _____ Vetoed.

MAYOR

CITY RECORDER

(SEAL)

Bill No. _____ of 2008.
Published: _____.

APPROVED AS TO FORM
Salt Lake City Attorney's Office
DATE SEPT 30 2008
BY Paul C. Nielson
PAUL C. NIELSON, SR. CITY ATTORNEY

Exhibit "A"

Beginning at the Northeast Corner Lot 15, Block 7, Five Acre Plot A, Big Field Survey point being on the west line of West Temple Street said point also being South 00°01'10" East 897.73 feet along the monument line and South 89°55'44" West 38.80 feet from a Street Monument in the Intersection of West Temple Street and 1700 South Street and running; thence South 00°13'43" West 143.55 feet along the east line of said Lot 15 and along the west line of said West Temple Street; thence South 89°55'44" West 735.79 feet to a point on the east line of UTA Light Rail Transit Corridor; thence North 00°13'43" East 143.55 feet along the east line of said UTA Light Rail Transit Corridor; thence North 89°55'44" East 735.79 feet to the point of beginning.

Contains 105,621 square feet (2.425 ± acres).

3. NOTICE OF CITY COUNCIL HEARING

NOTICE OF PUBLIC HEARING

The Salt Lake City Council will hold a public hearing regarding Petitions 400-08-20 & 400-08-21 to consider a master plan and zoning map amendment for property located at approximately 1812 S West Temple Street, Salt Lake City, Utah. The request is to amend the Central Community Future Land Use map from Low Density Residential (1-15 dwelling units/acre) to Medium High Density Residential (30-50 dwelling units/acre) and the Salt Lake City Zoning Map from R-1/5,000 Single-Family Residential District to RMF-45 Moderate/High Density Multi-Family Residential District for the aforementioned property.

As part of its study, the City Council is holding an advertised public hearing to receive comments regarding the petitions. During this hearing, anyone desiring to address the City Council concerning this issue will be given an opportunity to speak. The hearing will be held:

Date: October 14, 2008

Time: 7:00 p.m.

Place: Room 315 (City Council Chambers)*
Salt Lake City and County Building
451 S. State Street
Salt Lake City, UT

*Please enter building from east side.

If you have any questions relating to this proposal or would like to review the petitions on file, please call Michael Maloy, Principal Planner, at 535-7118 between the hours of 8:00 a.m. and 5:00 p.m., Monday through Friday or via e-mail at michael.maloy@slcgov.com.

People with disabilities may make requests for reasonable accommodations no later than 48 hours in advance in order to attend this public hearing. Accommodations may include alternate formats, interpreters, and other auxiliary aids. The City & County Building is an accessible facility. For questions, requests, or additional information, please contact the ADA Coordinator at (801) 535-7971; TDD 535-6021.

4. MAILING LABELS



1513258003 RESIDENT 2535 E LAMBOURNE AVE SALT LAKE CITY UT 84109	1513283001 RESIDENT 163 W 1700 S SALT LAKE CITY UT 84115	1513427001 RESIDENT 879 N LITTLE VALLEY RD SALT LAKE CITY UT 84103
1513257018 RESIDENT 204 W 1700 S SALT LAKE CITY UT 84115	1513426005 RESIDENT 185 W 1700 S SALT LAKE CITY UT 84115	1513427005 RESIDENT 115 W 1700 S SOUTH SALT LAKE UT 84115
1513257013 RESIDENT 2569 E KEDDINGTON LN HOLLADAY UT 84117	1513402007 RESIDENT 241 W 1700 S SOUTH SALT LAKE UT 84115	1513426008 RESIDENT 1776 S WESTEMPLE ST SOUTH SALT LAKE UT 84115
1513280008 RESIDENT 1637 S JEFFERSON ST SALT LAKE CITY UT 84115	1513284001 RESIDENT 879 N LITTLE VALLEY RD SALT LAKE CITY UT 84103	1513427002 RESIDENT 2001 S STATE ST # N4500 SALT LAKE CITY UT 84115
1513258012 RESIDENT 222 W LUCY AVE SALT LAKE CITY UT 84101	1513402017 RESIDENT 241 W 1700 S SOUTH SALT LAKE UT 84115	1513427006 RESIDENT 185 W 1700 S SALT LAKE CITY UT 84115
1513280025 RESIDENT 134 W 1700 S SALT LAKE CITY UT 84115	1513402009 RESIDENT 241 W 1700 S SOUTH SALT LAKE UT 84115	1513426006 RESIDENT 183 W 1700 S SOUTH SALT LAKE UT 84115
1513280026 RESIDENT 1332 W CRYSTAL AVE WEST VALLEY UT 84119	1513402016 RESIDENT 2569 E KEDDINGTON LN HOLLADAY UT 84117	1513427003 RESIDENT 2001 S STATE ST # N4500 SALT LAKE CITY UT 84115
1513258013 RESIDENT PO BOX 651276 SALT LAKE CITY UT 84165	1513284002 RESIDENT 115 W 1700 S SALT LAKE CITY UT 84115	1513427004 RESIDENT 2001 S STATE ST # N4500 SALT LAKE CITY UT 84115
1513280021 RESIDENT 3526 N LITTLEROCK DR PROVO UT 84604	1513426002 RESIDENT 163 W 1700 S SALT LAKE CITY UT 84115	1513427007 RESIDENT 2252 E 11580 S SANDY UT 84092

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1513402018 RESIDENT 241 W 1700 S SOUTH SALT LAKE UT 84115	1513430030 RESIDENT 1776 S WESTTEMPLE ST SALT LAKE CITY UT 84115	1513430028 RESIDENT 1776 S WESTTEMPLE ST SALT LAKE CITY UT 84115
1513426007 RESIDENT 2040 W 3605 S WEST VALLEY UT 84119	1513428008 RESIDENT 1759 S WESTTEMPLE ST SALT LAKE CITY UT 84115	1513430032 RESIDENT 1800 S WESTTEMPLE ST #216 SALT LAKE CITY UT 84115
1513430025 RESIDENT 1776 S WESTTEMPLE ST SOUTH SALT LAKE UT 84115	1513428016 RESIDENT 1760 S RICHARDS ST SALT LAKE CITY UT 84115	1513431001 RESIDENT 82 W BOULEVARD GARDENS SALT LAKE CITY UT 84115
1513430025 RESIDENT 1776 S WESTTEMPLE ST SOUTH SALT LAKE UT 84115	1513430020 RESIDENT 1760 S WESTTEMPLE ST SALT LAKE CITY UT 84115	1513431002 RESIDENT 76 W BOULEVARD GARDENS SALT LAKE CITY UT 84115
1513430016 RESIDENT 1738 S WESTTEMPLE ST SALT LAKE CITY UT 84115	1513428017 RESIDENT 1767 S WESTTEMPLE ST SALT LAKE CITY UT 84115	1513431003 RESIDENT 70 W BOULEVARD GARDENS SOUTH SALT LAKE UT 84115
1513430026 RESIDENT 1776 S WESTTEMPLE ST SOUTH SALT LAKE UT 84115	1513428018 RESIDENT 74 W QUAYLE AVE SOUTH SALT LAKE UT 84115	1513431004 RESIDENT 64 W BOULEVARD GARDENS SALT LAKE CITY UT 84115
1513430017 RESIDENT 1746 S WESTTEMPLE ST SALT LAKE CITY UT 84115	1513428019 RESIDENT 58 W QUAYLE AVE SOUTH SALT LAKE UT 84115	1513431005 RESIDENT 58 W BOULEVARD GARDENS SALT LAKE CITY UT 84115
1513428007 RESIDENT 1755 S WESTTEMPLE ST SALT LAKE CITY UT 84115	1513428020 RESIDENT 3541 W WHEATWOOD CIR WEST JORDAN UT 84084	1513431006 RESIDENT 52 W BOULEVARD GARDENS SALT LAKE CITY UT 84115
1513430019 RESIDENT 1760 S WESTTEMPLE ST SALT LAKE CITY UT 84115	1513402010 RESIDENT 1234 EAST 17TH STREET SANTA ANA CA 92701	1513431007 RESIDENT 46 W BOULEVARD GARDENS SALT LAKE CITY UT 84115

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1513431008
RESIDENT
40 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513431019
RESIDENT
45 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

~~1513432003~~
~~RESIDENT~~
~~875 MAMARONECK AVE~~
~~MAMARONECK NY 10543~~

1513430034
RESIDENT
1798 S WESTEMPLE ST #200
SALT LAKE CITY UT 84115

1513431020
RESIDENT
45 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

~~1513432019~~
~~RESIDENT~~
~~875 MAMARONECK AVE~~
~~MAMARONECK NY 10543~~

1513430033
RESIDENT
1776 S WESTEMPLE ST
SALT LAKE CITY UT 84115

1513402011
RESIDENT
1700 FARNAM ST # 10S-FL
OMAHA NE 68102

~~1513432004~~
~~RESIDENT~~
~~875 MAMARONECK AVE~~
~~MAMARONECK NY 10543~~

1513431013
RESIDENT
1089 TANLAND DR #111
PALO ALTO CA 94303

1513402012
RESIDENT
1825 S 300 W
SALT LAKE CITY UT 84115

~~1513432020~~
~~RESIDENT~~
~~875 MAMARONECK AVE~~
~~MAMARONECK NY 10543~~

1513431014
RESIDENT
75 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513430003
RESIDENT
1776 S WESTEMPLE ST
SALT LAKE CITY UT 84115

~~1513432005~~
~~RESIDENT~~
~~875 MAMARONECK AVE~~
~~MAMARONECK NY 10543~~

1513431015
RESIDENT
69 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513431024
RESIDENT
205 DAY AVENUE
BAKERSFIELD CA 93308

~~1513432021~~
~~RESIDENT~~
~~875 MAMARONECK AVE~~
~~MAMARONECK NY 10543~~

1513431016
RESIDENT
63 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513432001
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

~~1513432033~~
~~RESIDENT~~
~~875 MAMARONECK AVE~~
~~MAMARONECK NY 10543~~

1513431017
RESIDENT
1017 S DOUGLAS ST
SALT LAKE CITY UT 84105

~~1513432002~~
~~RESIDENT~~
~~875 MAMARONECK AVE~~
~~MAMARONECK NY 10543~~

~~1513432045~~
~~RESIDENT~~
~~875 MAMARONECK AVE~~
~~MAMARONECK NY 10543~~

1513431018
RESIDENT
51 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

~~1513432018~~
~~RESIDENT~~
~~875 MAMARONECK AVE~~
~~MAMARONECK NY 10543~~

~~1513432006~~
~~RESIDENT~~
~~875 MAMARONECK AVE~~
~~MAMARONECK NY 10543~~

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1513432022
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432036
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432050
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432034
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432048
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432011
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432046
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432009
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432027
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432007
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432025
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432039
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432023
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432037
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432051
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432035
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432049
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432012
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432047
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432010
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432028
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432008
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432026
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432040
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432024
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432038
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432052
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

This list of ownership was compiled by the Salt Lake County Recorder's Office, with a copy being sent to the city it pertains to. Any alteration or deletion will be tracked and appropriate action taken. Feb2006Page 4 of 9



1513432013
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513434002
RESIDENT
6000 NE 35TH CIR
VANCOUVER WA 98661

1513434010
RESIDENT
116 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513432029
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432054
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513434011
RESIDENT
110 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513432041
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513434003
RESIDENT
166 W VENTURE WY
SALT LAKE CITY UT 84115

1513434012
RESIDENT
102 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513431026
RESIDENT
1823 S WESTEMPLE ST
SOUTH SALT LAKE UT 84115

1513434004
RESIDENT
160 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513432015
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432053
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513434005
RESIDENT
152 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513432031
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432014
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513434006
RESIDENT
146 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513432043
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432030
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513434007
RESIDENT
138 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513432055
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432042
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513434008
RESIDENT
132 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513432016
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513434001
RESIDENT
451 S STATE ST # 225
SALT LAKE CITY UT 84111

1513434009
RESIDENT
126 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513432032
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543



1513432044 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513433002 RESIDENT 1833 S WESTTEMPLE ST # 1 SALT LAKE CITY UT 84115	1513435004 RESIDENT 161 W VENTURE WY SOUTH SALT LAKE UT 84115
1513432056 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513433003 RESIDENT 1833 S WESTTEMPLE ST # 2 SALT LAKE CITY UT 84115	1513435005 RESIDENT 153 W VENTURE WY SOUTH SALT LAKE UT 84115
1513432017 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513433006 RESIDENT 1833 S WESTTEMPLE ST # 5 SALT LAKE CITY UT 84115	1513435006 RESIDENT 147 W VENTURE WY SOUTH SALT LAKE UT 84115
1513432057 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513433007 RESIDENT 1833 S WESTTEMPLE ST # 6 SOUTH SALT LAKE UT 84115	1513435007 RESIDENT 139 W VENTURE WY SALT LAKE CITY UT 84115
1513433001 RESIDENT 1833 S WESTTEMPLE ST # 7 SOUTH SALT LAKE UT 84115	1513433010 RESIDENT 1833 S WESTTEMPLE ST # 9 SALT LAKE CITY UT 84115	1513435008 RESIDENT 133 W VENTURE WY SALT LAKE CITY UT 84115
1513432058 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513433011 RESIDENT 1833 S WESTTEMPLE ST # 10 SOUTH SALT LAKE UT 84115	1513435009 RESIDENT 125 W VENTURE WY SOUTH SALT LAKE UT 84115
1513432059 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513435002 RESIDENT 175 W VENTURE WY SOUTH SALT LAKE UT 84115	1513435010 RESIDENT 117 W VENTURE WY SOUTH SALT LAKE UT 84115
1513432060 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513432062 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513435011 RESIDENT 111 W VENTURE WY SOUTH SALT LAKE UT 84115
1513432061 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513435003 RESIDENT 167 W VENTURE WY SOUTH SALT LAKE UT 84115	1513435012 RESIDENT 9007 S SUMMER CREST DR SANDY UT 84093

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1513432063 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513435001 RESIDENT 451 S STATE ST # 225 SALT LAKE CITY UT 84111	1513435019 RESIDENT 142 W LAYTON AVE SALT LAKE CITY UT 84115
1513433004 RESIDENT 1833 S WESTTEMPLE ST # 3 SOUTH SALT LAKE UT 84115	1513402021 RESIDENT 1855 S 300 W SALT LAKE CITY UT 84115	1513435020 RESIDENT 134 W LAYTON AVE SALT LAKE CITY UT 84115
1513433005 RESIDENT 106 N 14TH STREET OREGON IL 61061	1513453017 RESIDENT PO BOX 8050 BENTONVILLE AR 72712	1513435021 RESIDENT 128 W LAYTON AVE SOUTH SALT LAKE UT 84115
1513433008 RESIDENT 1833 S WESTTEMPLE ST # 7 SALT LAKE CITY UT 84115	1513435013 RESIDENT 178 W LAYTON AVE SALT LAKE CITY UT 84115	1513435022 RESIDENT 122 W LAYTON AVE SALT LAKE CITY UT 84115
1513433009 RESIDENT 1833 S WESTTEMPLE ST # 8 SALT LAKE CITY UT 84115	1513435014 RESIDENT 172 W LAYTON AVE SALT LAKE CITY UT 84115	1513431028 RESIDENT 8734 S CENTER ST SANDY UT 84070
1513433012 RESIDENT 1833 S WESTTEMPLE ST # 11 SALT LAKE CITY UT 84115	1513435015 RESIDENT P.O.BOX 681851 PARK CITY UT 84068	1513435023 RESIDENT 116 W LAYTON AVE SALT LAKE CITY UT 84115
1513433013 RESIDENT 1833 S WESTTEMPLE ST # 12 SALT LAKE CITY UT 84115	1513435016 RESIDENT 160 W LAYTON AVE SALT LAKE CITY UT 84115	1513435024 RESIDENT 1840 S WESTTEMPLE ST SOUTH SALT LAKE UT 84115
1513432064 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513435017 RESIDENT 154 W LAYTON AVE SALT LAKE CITY UT 84115	1513431031 RESIDENT 70 W LAYTON AVE SOUTH SALT LAKE UT 84115
1513432065 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513435018 RESIDENT 148 W LAYTON AVE SOUTH SALT LAKE UT 84115	1513431032 RESIDENT 64 W LAYTON AVE SALT LAKE CITY UT 84115

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1513431033
RESIDENT
60 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513476002
RESIDENT
177 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513476013
RESIDENT
117 W LAYTON AVE
SALT LAKE CITY UT 84115

1513431034
RESIDENT
10061 S MEMORIAL DR
SOUTH JORDAN UT 84095

1513476004
RESIDENT
165 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513476015
RESIDENT
1860 S WESTTEMPLE ST
SOUTH SALT LAKE UT 84115

1513431035
RESIDENT
50 W LAYTON AVE
SALT LAKE CITY UT 84115

1513476005
RESIDENT
159 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513477001
RESIDENT
1861 S WESTTEMPLE ST
SOUTH SALT LAKE UT 84115

1513431036
RESIDENT
46 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513476007
RESIDENT
153 W LAYTON AVE
SALT LAKE CITY UT 84115

1513477005
RESIDENT
69 W LAYTON AVE
SALT LAKE CITY UT 84115

1513431037
RESIDENT
40 W LAYTON AVE
SALT LAKE CITY UT 84115

1513476008
RESIDENT
249 E THORNBERRY DR
DRAPER UT 84020

1513477006
RESIDENT
63 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513431029
RESIDENT
1845 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513476009
RESIDENT
141 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513477007
RESIDENT
59 W LAYTON AVE
SALT LAKE CITY UT 84115

1513435025
RESIDENT
1850 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513476010
RESIDENT
135 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513477008
RESIDENT
53 W LAYTON AVE
SALT LAKE CITY UT 84115

1513476001
RESIDENT
180 W LAYTON AVE
SALT LAKE CITY UT 84115

1513476011
RESIDENT
129 W LAYTON AVE
SALT LAKE CITY UT 84115

1513476003
RESIDENT
171 W LAYTON AVE
SALT LAKE CITY UT 84115

1513431030
RESIDENT
1847 S WESTTEMPLE ST
SOUTH SALT LAKE UT 84115

1513476012
RESIDENT
380 W 7200 S
MIDVALE UT 84047

1513477002
RESIDENT
1867 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

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1513476016
RESIDENT
1868 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513477003
RESIDENT
1873 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513476006
RESIDENT
153 W LAYTON AVE
SALT LAKE CITY UT 84115

1513476014
RESIDENT
1192 E DRAPER PKWY
DRAPER UT 84020

1513477004
RESIDENT
50 E NORTHTEMPLE ST
SALT LAKE CITY UT 84150

1513476017
RESIDENT
462 LINDEN ST #19
TOOELE UT 84074

Salt Lake City Planning Div
Michael Maloy
451 South State St Room 406
PO Box 145480
Salt Lake City UT 84114-5480

Bill Davis
People's Freeway Community Council
332 West 1700 South
SLC UT 84115

BILL NIGHSWONGER
SALT LAKE CITY HOUSING AUTHO.
1776 S WEST TEMPLE
SLC UT 84115

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1513258003
RESIDENT
2535 E LAMBOURNE AVE
SALT LAKE CITY UT 84109

1513283001
RESIDENT
163 W 1700 S
SALT LAKE CITY UT 84115

1513427001
RESIDENT
879 N LITTLE VALLEY RD
SALT LAKE CITY UT 84103

1513257018
RESIDENT
204 W 1700 S
SALT LAKE CITY UT 84115

1513426005
RESIDENT
185 W 1700 S
SALT LAKE CITY UT 84115

1513427005
RESIDENT
115 W 1700 S
SOUTH SALT LAKE UT 84115

1513257013
RESIDENT
2569 E KEDDINGTON LN
HOLLADAY UT 84117

1513402007
RESIDENT
241 W 1700 S
SOUTH SALT LAKE UT 84115

1513426008
RESIDENT
1776 S WESTTEMPLE ST
SOUTH SALT LAKE UT 84115

1513280008
RESIDENT
1637 S JEFFERSON ST
SALT LAKE CITY UT 84115

1513284001
RESIDENT
879 N LITTLE VALLEY RD
SALT LAKE CITY UT 84103

1513427002
~~RESIDENT~~
~~2001 S STATE ST # N4500~~
SALT LAKE CITY UT 84115

1513258012
RESIDENT
222 W LUCY AVE
SALT LAKE CITY UT 84101

1513402017
RESIDENT
241 W 1700 S
SOUTH SALT LAKE UT 84115

1513427006
RESIDENT
185 W 1700 S
SALT LAKE CITY UT 84115

1513280025
RESIDENT
134 W 1700 S
SALT LAKE CITY UT 84115

1513402009
RESIDENT
241 W 1700 S
SOUTH SALT LAKE UT 84115

1513426006
RESIDENT
183 W 1700 S
SOUTH SALT LAKE UT 84115

1513280026
RESIDENT
1332 W CRYSTAL AVE
WEST VALLEY UT 84119

1513402016
RESIDENT
2569 E KEDDINGTON LN
HOLLADAY UT 84117

1513427003
RESIDENT
2001 S STATE ST # N4500
SALT LAKE CITY UT 84115

1513258013
RESIDENT
PO BOX 651276
SALT LAKE CITY UT 84165

1513284002
RESIDENT
115 W 1700 S
SALT LAKE CITY UT 84115

1513427004
RESIDENT
~~2001 S STATE ST # N4500~~
SALT LAKE CITY UT 84115

1513280021
RESIDENT
3526 N LITTLEROCK DR
PROVO UT 84604

1513426002
~~RESIDENT~~
~~163 W 1700 S~~
SALT LAKE CITY UT 84115

1513427007
RESIDENT
2252 E 11580 S
SANDY UT 84092

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1513402018
RESIDENT
241 W 1700 S
SOUTH SALT LAKE UT 84115

1513430030
RESIDENT
1776 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513430028
RESIDENT
1776 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513426007
RESIDENT
2040 W 3605 S
WEST VALLEY UT 84119

1513428008
RESIDENT
1759 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513430032
RESIDENT
1800 S WESTTEMPLE ST #216
SALT LAKE CITY UT 84115

1513430025
RESIDENT
1776 S WESTTEMPLE ST
SOUTH SALT LAKE UT 84115

1513428016
RESIDENT
1760 S RICHARDS ST
SALT LAKE CITY UT 84115

1513431001
RESIDENT
82 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513430025
RESIDENT
1776 S WESTTEMPLE ST
SOUTH SALT LAKE UT 84115

1513430020
RESIDENT
1760 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513431002
RESIDENT
76 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513430016
RESIDENT
1738 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513428017
RESIDENT
1767 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513431003
RESIDENT
70 W BOULEVARD GARDENS
SOUTH SALT LAKE UT 84115

1513430026
RESIDENT
1776 S WESTTEMPLE ST
SOUTH SALT LAKE UT 84115

1513428018
RESIDENT
74 W QUAYLE AVE
SOUTH SALT LAKE UT 84115

1513431004
RESIDENT
64 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513430017
RESIDENT
1746 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513428019
RESIDENT
58 W QUAYLE AVE
SOUTH SALT LAKE UT 84115

1513431005
RESIDENT
58 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513428007
RESIDENT
1755 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513428020
RESIDENT
3541 W WHEATWOOD CIR
WEST JORDAN UT 84084

1513431006
RESIDENT
52 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513430019
RESIDENT
1760 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513402010
RESIDENT
1234 EAST 17TH STREET
SANTA ANA CA 92701

1513431007
RESIDENT
46 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

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1513431008
RESIDENT
40 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513431019
RESIDENT
45 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513432003
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513430034
RESIDENT
1798 S WESTTEMPLE ST #200
SALT LAKE CITY UT 84115

1513431020
RESIDENT
45 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513432019
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513430033
RESIDENT
1776 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513402011
RESIDENT
1700 FARNAM ST # 10S-FL
OMAHA NE 68102

1513432004
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513431013
RESIDENT
1089 TANLAND DR #111
PALO ALTO CA 94303

1513402012
RESIDENT
1825 S 300 W
SALT LAKE CITY UT 84115

1513432020
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513431014
RESIDENT
75 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513430003
RESIDENT
1776 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513432005
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513431015
RESIDENT
69 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513431024
RESIDENT
205 DAY AVENUE
BAKERSFIELD CA 93308

1513432021
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513431016
RESIDENT
63 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513432001
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432033
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513431017
RESIDENT
1017 S DOUGLAS ST
SALT LAKE CITY UT 84105

1513432002
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432045
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513431018
RESIDENT
51 W BOULEVARD GARDENS
SALT LAKE CITY UT 84115

1513432018
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432006
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

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1513432022
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432036
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432050
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432034
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432048
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432011
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432046
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432009
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432027
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432007
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432025
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

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RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432023
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432037
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432051
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432035
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432049
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432012
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432047
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432010
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432028
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432008
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432026
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432040
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432024
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432038
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432052
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

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1513432013 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513434002 RESIDENT 6000 NE 35TH CIR VANCOUVER WA 98661	1513434010 RESIDENT 116 W VENTURE WY SOUTH SALT LAKE UT 84115
1513432029 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513432054 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513434011 RESIDENT 110 W VENTURE WY SOUTH SALT LAKE UT 84115
1513432041 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513434003 RESIDENT 166 W VENTURE WY SALT LAKE CITY UT 84115	1513434012 RESIDENT 102 W VENTURE WY SOUTH SALT LAKE UT 84115
1513431026 RESIDENT 1823 S WESTTEMPLE ST SOUTH SALT LAKE UT 84115	1513434004 RESIDENT 160 W VENTURE WY SOUTH SALT LAKE UT 84115	1513432015 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543
1513432053 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513434005 RESIDENT 152 W VENTURE WY SOUTH SALT LAKE UT 84115	1513432031 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543
1513432014 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513434006 RESIDENT 146 W VENTURE WY SOUTH SALT LAKE UT 84115	1513432043 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543
1513432030 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513434007 RESIDENT 138 W VENTURE WY SOUTH SALT LAKE UT 84115	1513432055 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543
1513432042 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513434008 RESIDENT 132 W VENTURE WY SOUTH SALT LAKE UT 84115	1513432016 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543
1513434001 RESIDENT 451 S STATE ST # 225 SALT LAKE CITY UT 84111	1513434009 RESIDENT 126 W VENTURE WY SOUTH SALT LAKE UT 84115	1513432032 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543

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1513432044
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513433002
RESIDENT
1833 S WESTTEMPLE ST # 1
SALT LAKE CITY UT 84115

1513435004
RESIDENT
161 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513432056
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513433003
RESIDENT
1833 S WESTTEMPLE ST # 2
SALT LAKE CITY UT 84115

1513435005
RESIDENT
153 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513432017
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513433006
RESIDENT
1833 S WESTTEMPLE ST # 5
SALT LAKE CITY UT 84115

1513435006
RESIDENT
147 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513432057
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513433007
RESIDENT
1833 S WESTTEMPLE ST # 6
SOUTH SALT LAKE UT 84115

1513435007
RESIDENT
139 W VENTURE WY
SALT LAKE CITY UT 84115

1513433001
RESIDENT
1833 S WESTTEMPLE ST # 7
SOUTH SALT LAKE UT 84115

1513433010
RESIDENT
1833 S WESTTEMPLE ST # 9
SALT LAKE CITY UT 84115

1513435008
RESIDENT
133 W VENTURE WY
SALT LAKE CITY UT 84115

1513432058
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513433011
RESIDENT
1833 S WESTTEMPLE ST # 10
SOUTH SALT LAKE UT 84115

1513435009
RESIDENT
125 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513432059
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513435002
RESIDENT
175 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513435010
RESIDENT
117 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513432060
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513432062
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513435011
RESIDENT
111 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513432061
RESIDENT
875 MAMARONECK AVE
MAMARONECK NY 10543

1513435003
RESIDENT
167 W VENTURE WY
SOUTH SALT LAKE UT 84115

1513435012
RESIDENT
9007 S SUMMER CREST DR
SANDY UT 84093

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1513432063 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513435001 RESIDENT 451 S STATE ST # 225 SALT LAKE CITY UT 84111	1513435019 RESIDENT 142 W LAYTON AVE SALT LAKE CITY UT 84115
1513433004 RESIDENT 1833 S WESTTEMPLE ST # 3 SOUTH SALT LAKE UT 84115	1513402021 RESIDENT 1855 S 300 W SALT LAKE CITY UT 84115	1513435020 RESIDENT 134 W LAYTON AVE SALT LAKE CITY UT 84115
1513433005 RESIDENT 106 N 14TH STREET OREGON IL 61061	1513453017 RESIDENT PO BOX 8050 BENTONVILLE AR 72712	1513435021 RESIDENT 128 W LAYTON AVE SOUTH SALT LAKE UT 84115
1513433008 RESIDENT 1833 S WESTTEMPLE ST # 7 SALT LAKE CITY UT 84115	1513435013 RESIDENT 178 W LAYTON AVE SALT LAKE CITY UT 84115	1513435022 RESIDENT 122 W LAYTON AVE SALT LAKE CITY UT 84115
1513433009 RESIDENT 1833 S WESTTEMPLE ST # 8 SALT LAKE CITY UT 84115	1513435014 RESIDENT 172 W LAYTON AVE SALT LAKE CITY UT 84115	1513431028 RESIDENT 8734 S CENTER ST SANDY UT 84070
1513433012 RESIDENT 1833 S WESTTEMPLE ST # 11 SALT LAKE CITY UT 84115	1513435015 RESIDENT P.O.BOX 681851 PARK CITY UT 84068	1513435023 RESIDENT 116 W LAYTON AVE SALT LAKE CITY UT 84115
1513433013 RESIDENT 1833 S WESTTEMPLE ST # 12 SALT LAKE CITY UT 84115	1513435016 RESIDENT 160 W LAYTON AVE SALT LAKE CITY UT 84115	1513435024 RESIDENT 1840 S WESTTEMPLE ST SOUTH SALT LAKE UT 84115
1513432064 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513435017 RESIDENT 154 W LAYTON AVE SALT LAKE CITY UT 84115	1513431031 RESIDENT 70 W LAYTON AVE SOUTH SALT LAKE UT 84115
1513432065 RESIDENT 875 MAMARONECK AVE MAMARONECK NY 10543	1513435018 RESIDENT 148 W LAYTON AVE SOUTH SALT LAKE UT 84115	1513431032 RESIDENT 64 W LAYTON AVE SALT LAKE CITY UT 84115

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1513431033
RESIDENT
60 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513476002
RESIDENT
177 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513476013
RESIDENT
117 W LAYTON AVE
SALT LAKE CITY UT 84115

1513431034
RESIDENT
10061 S MEMORIAL DR
SOUTH JORDAN UT 84095

1513476004
RESIDENT
165 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513476015
RESIDENT
1860 S WESTTEMPLE ST
SOUTH SALT LAKE UT 84115

1513431035
RESIDENT
50 W LAYTON AVE
SALT LAKE CITY UT 84115

1513476005
RESIDENT
159 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513477001
RESIDENT
1861 S WESTTEMPLE ST
SOUTH SALT LAKE UT 84115

1513431036
RESIDENT
46 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513476007
RESIDENT
153 W LAYTON AVE
SALT LAKE CITY UT 84115

1513477005
RESIDENT
69 W LAYTON AVE
SALT LAKE CITY UT 84115

1513431037
RESIDENT
40 W LAYTON AVE
SALT LAKE CITY UT 84115

1513476008
RESIDENT
249 E THORNBERRY DR
DRAPER UT 84020

1513477006
RESIDENT
63 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513431029
RESIDENT
1845 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513476009
RESIDENT
141 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513477007
RESIDENT
59 W LAYTON AVE
SALT LAKE CITY UT 84115

1513435025
RESIDENT
1850 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513476010
RESIDENT
135 W LAYTON AVE
SOUTH SALT LAKE UT 84115

1513477008
RESIDENT
53 W LAYTON AVE
SALT LAKE CITY UT 84115

1513476001
RESIDENT
180 W LAYTON AVE
SALT LAKE CITY UT 84115

1513476011
RESIDENT
129 W LAYTON AVE
SALT LAKE CITY UT 84115

1513476003
RESIDENT
171 W LAYTON AVE
SALT LAKE CITY UT 84115

1513431030
RESIDENT
1847 S WESTTEMPLE ST
SOUTH SALT LAKE UT 84115

1513476012
RESIDENT
380 W 7200 S
MIDVALE UT 84047

1513477002
RESIDENT
1867 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

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1513476016
RESIDENT
1868 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513477003
RESIDENT
1873 S WESTTEMPLE ST
SALT LAKE CITY UT 84115

1513476006
RESIDENT
153 W LAYTON AVE
SALT LAKE CITY UT 84115

1513476014
RESIDENT
1192 E DRAPER PKWY
DRAPER UT 84020

1513477004
RESIDENT
50 E NORTHTEMPLE ST
SALT LAKE CITY UT 84150

1513476017
RESIDENT
462 LINDEN ST #19
TOOELE UT 84074

Salt Lake City Planning Div
Michael Maloy
451 South State St Room 406
PO Box 145480
Salt Lake City UT 84114-5480

Bill Davis
People's Freeway Community Council
332 West 1700 South
SLC UT 84115

BILL NIGHSWONGER
SALT LAKE CITY HOUSING AUTHO.
1776 S WEST TEMPLE
SLC UT 84115

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**5.A PLANNING COMMISSION
ORIGINAL NOTICE AND POSTMARK**

4770 S. 5600 W.
P.O. BOX 704005
WEST VALLEY CITY, UTAH 84170
FED.TAX I.D.# 87-0217663

PROOF OF PUBLICATION

CUSTOMER NAME AND ADDRESS	ACCOUNT NUMBER	DATE
BOARD OF ADJUSTMENT, C/O DEBORAH MARTIN 451 S STATE, RM 406 SALT LAKE CITY, UT 84111	9001381805	09/11/2008

ACCOUNT NAME	
BOARD OF ADJUSTMENT,	
TELEPHONE	ORDER # / INVOICE NUMBER
8015357741	0000356638 /
SCHEDULE	
Start 09/10/2008	End 09/10/2008
COUNTER NO.	
CAPTION	
Salt Lake City Master Plan Amendments	
SIZE	
32 Lines	2.00 COLUMN
TIMES	RATE
2	
MISC. CHARGES	ADJ. CHARGES
TOTAL COST	
80.00	

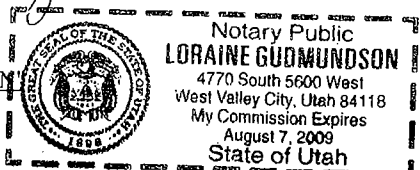
Salt Lake City Master Plan Amendments
On September 24, 2008, the Salt Lake City Planning Commission will hold a public hearing to consider making recommendations to the City Council regarding the following petitions:
Petition 400-08-20 filed by the Housing Authority of Salt Lake City to amend the Central Community Future Land Use map from Low Density Residential (1-1.5 dwelling units/acre) to Medium High Density Residential (30-50 dwelling units/acre) for property located at 1812 S West Temple Street. The purpose for the amendment is to facilitate a senior housing residential development on the property.
Petition 400-08-10 filed by which Richard Westview Investments is amending the Northwest Community Land Use Planning from Park/Open Space to Medium Density Residential for property located at 152-458 S Tom Redwood Road. The purpose for the amendment is to facilitate a multi-family residential development on the property.
The public hearing will begin at 9:45 AM in room 400 of the City Council Building, 451 South State Street, Salt Lake City, Utah. For more information, or for special ADA accommodations, which may include alternate formats, interpreters, and other auxiliary aids, or additional information, please contact Michael Meloy at 535-7118 or call 1-800-535-6220. UPAKLP 050608

AFFIDAVIT OF PUBLICATION

AS NEWSPAPER AGENCY CORPORATION LEGAL BOOKER, I CERTIFY THAT THE ATTACHED ADVERTISEMENT OF Salt Lake City Master Plan Amendments FOR BOARD OF ADJUSTMENT, WAS PUBLISHED BY THE NEWSPAPER AGENCY CORPORATION, AGENT FOR THE SALT LAKE TRIBUNE AND DESERET NEWS, DAILY NEWSPAPERS PRINTED IN THE ENGLISH LANGUAGE WITH GENERAL CIRCULATION IN UTAH, AND PUBLISHED IN SALT LAKE CITY, SALT LAKE COUNTY IN THE STATE OF UTAH.

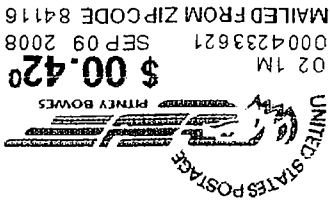
PUBLISHED ON Start 09/10/2008 End 09/10/2008
SIGNATURE *Aenny Gray* *Shub*
DATE 09/11/2008

THIS IS NOT A STATEMENT BUT A "PROOF OF PUBLICATION"
PLEASE PAY FROM BILLING STATEMENT



PUBLIC HEARING NOTICE

Salt Lake City Planning Division
451 South State Street, Room 406
PO Box 145480
Salt Lake City UT 84111



FIRST CLASS

1. Fill out registration card and indicate if you wish to speak and which agenda item you will address.
2. After the staff and petitioner presentations, hearings will be opened for public comment. Community Councils will present their comments at the beginning of the hearing
3. In order to be considerate of everyone attending the meeting, public comments are limited to two (2) minutes per person, per item. A spokesperson who has already been asked by a group to summarize their concerns will be allowed five (5) minutes to speak. Written comments are welcome and will be provided to the Planning Commission in advance of the meeting if they are submitted to the Planning Division prior to noon the day before the meeting.
Written comments should be sent to:

Salt Lake City Planning Commission
451 South State Street, Room 406
Salt Lake City UT 84111
4. Speakers will be called by the Chair.
5. Please state your name and your affiliation to the petition or whom you represent at the beginning of your comments.
6. Speakers should address their comments to the Chair. Planning Commission members may have questions for the speaker. Speakers may not debate with other meeting attendees.
7. Speakers should focus their comments on the agenda item. Extraneous and repetitive comments should be avoided.
8. After those registered have spoken, the Chair will invite other comments. Prior speakers may be allowed to supplement their previous comments at this time.
9. After the hearing is closed, the discussion will be limited among Planning Commissioners and Staff. Under unique circumstances, the Planning Commission may choose to reopen the hearing to obtain additional information.
10. The Salt Lake City Corporation complies with all ADA guidelines. People with disabilities may make requests for reasonable accommodation no later than 48 hours in advance in order to attend this meeting. Accommodations may include alternate formats, interpreters, and other auxiliary aids. This is an accessible facility. For questions, requests, or additional information, please contact the Planning Office at 535-7757; TDD 535-6220.

SALT LAKE CITY PLANNING COMMISSION MEETING
In Room 326 of the City & County Building at 451 South State Street
Wednesday, September 24, 2008 at 5:45 p.m.

The field trip is scheduled to leave at 4:00 p.m. Dinner will be served to the Planning Commissioners and Staff at 5:00 p.m., in Room 126. **Work Session**—the Planning Commission may discuss the Accela project tracking program, project updates and other minor administrative matters. This portion of the meeting is open to the public for observation

APPROVAL OF MINUTES FROM WEDNESDAY, August 13, 2008.

REPORT OF THE CHAIR AND VICE CHAIR

REPORT OF THE DIRECTOR

BRIEFING

1. **Conditional Use Project- Issues for Further Study**—The Planning Staff will review and discuss with the Planning Commission the proposed responses to issues that were raised during the City Council's recent review of conditional use regulations. The City Council requested further study of issues that were not addressed prior to the July 22, 2008 adoption of amendments to the Zoning Ordinance relating to conditional and permitted uses. The Planning Staff is requesting comment and direction from the Planning Commission prior to submitting the responses to the City Council for its review.

PUBLIC HEARING

2. **Petition 400-08-02, Driggs Avenue Street Closure at 1300 East**—the Utah Department of Transportation (UDOT) is requesting to close a portion of Driggs Avenue (approximately 2370 South and just west of 1300 East). It is proposed that Driggs Avenue will terminate in a cul-de-sac at this location. The purpose of the street closure is to accommodate the reconfiguration of the east bound I-80 off ramp at approximately 1300 East. The subject closure is located in City Council District 7 represented by Søren Simonsen (Staff contact: Lex Traughber at 535-6184 or lex.traughber@slcgov.com).
3. **Crestview Holdings Master Plan and Zoning Map Amendment**—a request by Juston Puchar, with Crestview Holdings, for a master plan and zoning map amendment for property located between approximately 356 to 358 North Redwood Road. The proposed master plan and zoning map amendment would accommodate an eight (8) unit multi-family residential development. The property is located in City Council District One represented by Carlton Christensen (Staff contact: Michael Maloy at 535-7118 or michael.maloy@slcgov.com).
 - a. **Petition 400-08-10 Master Plan Amendment**—the applicant is requesting an amendment of the Northwest Community Land Use Plan map for the property from Parks/Open Space to Medium Density Residential.
 - b. **Petition 400-08-09 Zoning Map Amendment**—the applicant is requesting amendment of the Salt Lake City Zoning Map for the property from R-1/5000 Single Family Residential to RMF-35 Moderate Density Multi-Family.
4. **West Temple Senior Housing Master Plan Map Amendment, Zoning Map Amendment, and Planned Development**—a request by Bill Nighswonger, Executive Director of the Housing Authority of Salt Lake City, for a master plan amendment, zoning map amendment, and planned development for property located at approximately 1812 South West Temple Street. The proposed master plan amendment, zoning map amendment, and planned development petition would accommodate a proposed 95 unit senior-housing residential development. The property is located in City Council District Five represented by Jill Remington-Love (Staff contact: Michael Maloy at 535-7118 or michael.maloy@slcgov.com).
 - a. **Petition 400-07-37 Master Plan Amendment**—the applicant is requesting approval to amend the Central Community Future Land Use map for the property from Low Density Residential (1-15 dwelling units/acre) to Medium High Density Residential (30-50 dwelling units/acre).
 - b. **Petition 400-07-38 Zoning Map Amendment**—the applicants are requesting approval to change the zoning of the property from CB Community Business to RMU-45 Residential Mixed Use.
 - c. **Petition 410-08-51 Planned Development**—the applicant is requesting approval of a planned development containing 105 units for senior housing on the property. The proposal includes renovation and reuse of an existing single-family dwelling as an "amenity" for the project.
5. **Petition 400-08-18, a legislative action initiated by the Salt Lake City Council**—a request by the City Council for the preparation of an ordinance that would restrict the distance between businesses in Salt Lake City that provide "payday-loan check cashing services," and consider expanding the ordinance to cover the ratio of businesses to the number of people served, and where those businesses should be allowed (Staff contact: Everett Joyce at 535-7930 or everett.joyce@slcgov.com).

Visit the Planning and Zoning Enforcement Division's website at www.slcgov.com/CED/planning for copies of the Planning Commission agendas, staff reports, and minutes. Staff Reports will be posted the Friday prior to the meeting and minutes will be posted two days after they are ratified, which usually occurs at the next regularly scheduled meeting of the Planning Commission.

**5.B PLANNING COMMISSION
STAFF REPORT**

PLANNING COMMISSION STAFF REPORT



Planning & Zoning Division
Department of Community &
Economic Development

Petition No's 400-08-20, 400-08-21, & 410-08-51

West Temple Senior Housing Project

Master Plan Amendment, Zoning Map Amendment, & Planned Development

Located at 1812 South West Temple Street

Public Hearing Date: September 24, 2008

Applicant: Bill Nighswonger,
Housing Authority of Salt Lake
City

Staff: Michael Maloy, 535-
7118,
michael.maloy@slcgov.com

Tax ID: 15-13-430-003

Current Zone: R-1/5000
Single-Family Residential
District

Master Plan Designation:
Low Density Residential (1-15
dwelling units/acre), Central
Community Master Plan
(adopted November 1, 2005)

Council District: 5, Council
Member Jill Remington Love

Acreage: 2.425 ± acres

Current Use: Vacant single-
family dwelling

Applicable Land Use

Regulations:

- 21A.02.040 Effect Of Adopted Master Plans Or General Plans
- 21A.50 Amendments
- 21A.24.140 RMF-45 Moderate/High Density Multi-Family Residential District
- 21A.54 Conditional Uses

Attachments:

- A. Preliminary Development Plans
- B. Architectural Renderings
- C. Property Photographs
- D. DRT Notes
- E. PC Subcommittee Notes
- F. Conditional Use Map
- G. Department Comments

REQUEST: The Housing Authority of Salt Lake City, represented by Bill Nighswonger, is requesting approval of a master plan amendment, zoning map amendment, and planned development to construct a 95 unit senior housing project located at 1812 South West Temple Street. The subject property contains 2.425 ± acres and is zoned R-1/5000 Single-Family Residential Dwelling. The Planning Commission has authority to make a recommendation to the City Council on the master plan amendment and zoning map amendment. The Planning Commission has final approval authority on the planned development.

PUBLIC NOTICE: Notice of a public hearing was mailed on September 9, 2008 to all owners of property located within a 450-foot radius from the subject property, as well as to community council chairs. A notice of the public hearing was published in the *Salt Lake Tribune* and *Deseret Morning News* newspapers on September 10, 2008. A sign noting the date of the public hearing was posted on the property on September 10, 2008. The meeting agenda was sent electronically to all names on the Planning Division list serve and posted on the Planning Division's website.

STAFF RECOMMENDATION: Based upon the findings listed within the staff report, staff recommends that the Planning Commission support the following:

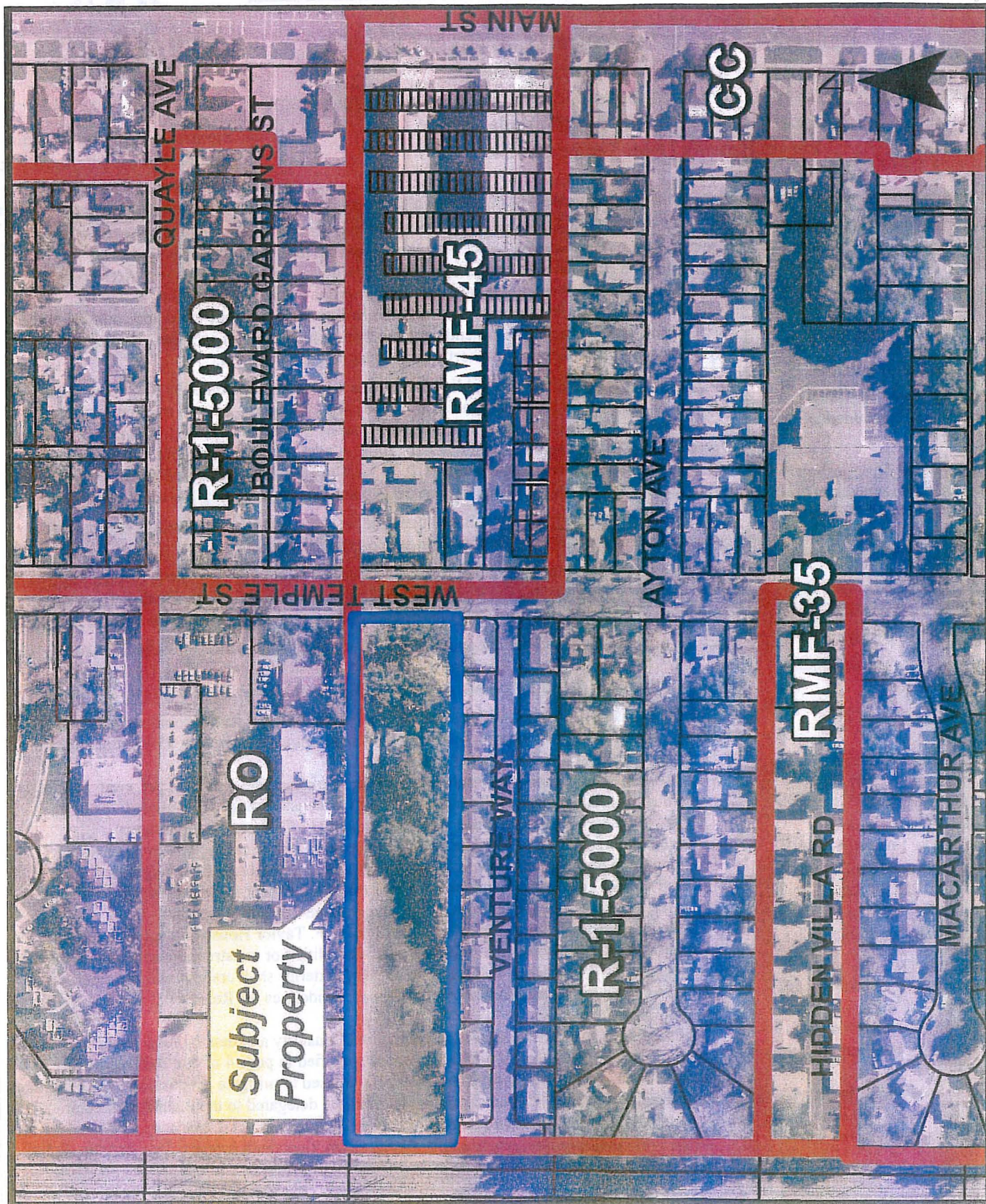
Transmit a favorable recommendation to the City Council to amend the Central Community Future Land Use map from Low Density Residential (1-15 dwelling units/acre) to Medium High Density Residential (30-50 dwelling units/acre) for property located at 1812 South West Temple Street.

Transmit a favorable recommendation to the City Council to amend the Salt Lake City Zoning Map from R-1/5,000 Single-Family Residential District to RMF-45 Moderate/High Density Multi-Family Residential District for property located at 1812 South West Temple Street.

Furthermore, based upon the findings listed within the staff report, staff recommends that the Planning Commission grant approval for a planned development containing 95 dwelling units for senior housing subject to the following conditions:

1. Property must be rezoned to permit construction of planned development proposal. Failure to obtain appropriate zoning shall render Planning Commission approval null and void.
2. Approval is subject to compliance with Attachment G – Department Comments.
3. Illumination of parking lot shall be sufficient to ensure public safety; however, security lighting must be shielded to control light pollution and glare. Light pole height shall not exceed 15 feet. All lighting shall be oriented downward except for highlighting of building architecture and landscape features, or for low wattage decorative lighting.
4. Applicant shall apply for designation of the Stanley F. Taylor House on the Salt Lake City Register of Cultural Resources prior to further demolition or construction activities on the subject property; and all modifications to building exterior shall comply with Section 21A.34.020.G and applicable Residential Design Guidelines for Residential Historic Districts in Salt Lake City.
5. Landscaping plans shall be revised to comply with quantity and density requirements of buffer regulations, except for buffer width reductions specified in page 4 of this staff report. In addition, vertical growth landscaping shall be increased to mitigate proposal to reduce building setbacks. Approval of final landscaping plan shall be delegated to the Planning Director.
6. Private roadway shall be reduced from 26 feet to 24 feet to increase landscape buffer along the entire south property line. All building structures abutting south property line shall be shifted northward an additional two feet to increase landscape buffer to address privacy concerns.

VICINITY MAP



BACKGROUND/ PROJECT DESCRIPTION

Project Description / History: Bill Nighswonger, Executive Director of the Housing Authority of Salt Lake City, has requested approval of the following petitions for 2.425 ± acres of property located at 1812 South West Temple Street:

- **Petition 400-08-20 – Master Plan Amendment.** Petition to amend the Central Community Future Land Use map from Low Density Residential (1-15 dwelling units/acre) to Medium High Density Residential (30-50 dwelling units/acre).
- **Petition 400-08-21 – Zoning Amendment.** Petition to amend the Salt Lake City Zoning Map from R-1/5,000 Single-Family Residential District to RMF-45 Moderate/High Density Multi-Family Residential District.
- **Petition 410-08-51 – Planned Development.** Petition for approval of a planned development containing 95 dwelling units for senior housing. The proposed development is comprised of 88 one-bedroom units, 7 two-bedroom units, 104 parking stalls, and renovation of an existing single-family dwelling for use as a common amenity for residents of the development.

The subject property measures approximately 143.55 feet wide by 735.79 feet deep. If the property were developed under the current R-1/5,000 zoning district, staff estimates that 15 single-family dwelling units could be constructed on the subject property if served by a public street. If the property were developed as a planned development with a private street, staff estimates that 22 dwelling units could be constructed (which number is identical to the Taylor Farm Subdivision located to the south and adjacent to the subject property). Due to the narrow width and relative depth of the property, a roadway would likely be located through the center of the property, which limits the development potential of the subject property and would require demolition of an existing historic home located on the property.

As mentioned previously, the subject property contains a single-family dwelling that is now vacant (see Attachment C – Property Photographs). Although the applicant has not submitted to the Planning Division any specific renovation plans or building programming for the dwelling, they have noted that the renovation will cost an estimated \$500,000.00. The property is not within a local historic district or designated as a landmark site, however it was described as a significant structure in a 1985 report titled *Salt Lake City Architectural Survey—Southwestern Survey Area*:

1812 South West Temple Street—Stanley F. and Matilda Sims Taylor House. Built c. 1907 for Stanley F. Taylor, this house is architecturally significant as a very good example of a stylized version of the Box style house. This house features a variety of minor design elements drawn from several different styles that were popular at that time. Neo-classical elements include the brick quoins on the corners and the returns on the gable of the large dormer; diamond pane windows and a Palladian-motif window in the dormer are inspired by the Colonial Revival style; and the leaded glass windows are features of the Victorian era. Stanley F. Taylor, a successful businessman, was a founder and executive of Anderson-Taylor Co., a wholesale grocery and produce firm. Taylor lived in this house until his death in 1931. After his death, his widow Matilda Sims Taylor transferred the property to Zion's National Bank; however, she continued to live there until her death in 1958. During the 1930's she shared the house with Matthew Cowley, a prominent LDS Church leader, and others (page 163).

The new residential units will be within two separate three-story buildings. According to the applicant's site plan, the buildings will cover 34% of the site, landscaping 33%, driveways and parking 33%. Access is from West Temple Street. A secondary emergency access road will extend from Venture Way (1825 South); a public street that currently dead-ends at the southwest corner of the site.

The development proposal relies heavily on approval of the planned development petition. Staff has provided the following summary of requested zoning modifications:

- Rear yard setback on Building C is 18 feet, which does not meet the setback requirement of 30 feet.
- Side yard of Building C is 3 feet on the north side and does not meet the setback requirement of 8 feet, and a buffer requirement of 10 feet.
- According to 21A.24.010.H, the buildings do not meet the side yard requirements of 12 feet with 8 feet of landscaping required for buildings with the principal entrance along an interior side yard.
- The main entrance of Buildings B and C do not meet the requirement to have buildings front on a public street, which is the principal reason for the planned development petition.
- Parking spaces along the south side and in front of Building C (at rear of lot) have a 2.5 foot landscape buffer, which does not meet the requirements of 21A.48.080.C1 for a 10 foot buffer, and does not meet the requirements of Table 21A.48.070G and 21A.48.070D1 for tree and shrub spacing. (The applicant intends to construct a new 6-foot tall precast masonry fence along the south property line with four-foot tall shrubs planted 4 feet apart in the 2.5-foot wide landscape strip. They also intend to plant trees along the south property line with a 30-foot maximum spacing.)
- The south side of Building B will be a mixture of hardscape, shrubs, trees, and flowers planted in various sizes to create a “garden atmosphere” that does not meet the strict interpretation of ordinance 21A.48.080.D1.

Development Review Team Meetings: The Development Review Team (DRT) reviewed the proposed development on April 16, 2008 and again on May 19, 2008. No significant objections to the proposal were noted during the DRT meetings. Staff has attached a summary of comments from the DRT meetings for review (see Attachment D – DRT Notes).

Planning Commission Subcommittee: A Planning Commission (PC) subcommittee met with the applicant on August 6, 2006 to discuss the petitions. Those present were Mary Woodhead, Commissioner, Prescott Muir, Commissioner, Michael Maloy, Principal Planner, Tom Perry, project architect, and Bill Nighswonger, Executive Director for the Housing Authority of Salt Lake City. The subcommittee was supportive of the petition, but did make the following design recommendations:

- Address East end of Building B by adding an architectural focal point for the private access road.
- Present plans to illustrate lighting for the development of common areas.
- To represent the market better, the applicant should request one parking stall per unit, to keep the price of the units affordable and in light of the expectation that some of the residents would be non-drivers and others would own less than two vehicles.
- Present specific plans to restore Building A to facilitate its use as an amenity to the development. If an exception was allowed to the parking requirements, restoration of Building A becomes more affordable and it could be used as an amenity to the development community.

Staff has attached a summary of comments from the subcommittee meeting for review (see Attachment E – PC Subcommittee Notes).

COMMENTS

Public Comments: The Peoples Freeway Community Council heard a presentation from the applicant regarding the proposed development on May 1, 2008. Although preservation of the existing “historic” residence, traffic, and parking impacts were significant concerns, the Community Council was supportive of the proposed development.

City Department Comments: On July 9, 2008, staff sent a request to all applicable City departments for comment on the master plan amendment, zoning map amendment, and planned development proposal. All departmental responses have been included within the report as Attachment G – Department Comments. All responding departments have recommended preliminary approval subject to compliance with attached comments.

STAFF ANALYSIS AND FINDINGS:

Master Plan Amendment Analysis and Finding:

Analysis: The applicant has requested approval of a master plan amendment from Low Density Residential (1-15 dwelling units/acre) to Medium High Density Residential (30-50 dwelling units/acre) for property located at 1812 South Redwood Road. In preparation for the Planning Commission's public hearing of the proposed amendment, staff complied with the public notice requirements found in Utah Code 10-9a-404, which code regulates municipalities when considering an amendment to a general plan. Staff also reviewed the proposed master plan amendment in relation to the strategies listed in the Central Community Master Plan, and the Salt Lake City Community Housing Plan. (For a more detailed analysis of the Master Plan Amendment, see factor "A" of Zoning Map Amendment analysis listed below.)

Finding: Staff has complied with Utah Code notification requirements to consider an amendment to the City's general plan. Furthermore, staff finds that the proposed amendment is compatible with applicable goals and objectives of applicable master plans.

Zoning Map Amendment Analysis and Findings: A decision to amend the Salt Lake City Zoning Map by general amendment is a matter committed to the legislative discretion of the City Council and is not controlled by any one standard. However, in making a decision concerning a proposed amendment, the City should consider the following factors:

- A. *Whether the proposed amendment is consistent with the purposes, goals, objectives, and policies of the adopted general plan of Salt Lake City;*

Analysis: The subject property is located within the People's Freeway neighborhood planning area, which the *Central Community Master Plan* describes as follows:

Geographic description. The People's Freeway neighborhood is generally located between 900 South and 2100 South from Interstate-15 to State Street. A mixture of residential (mainly low-density single-family dwellings), major commercial and manufacturing uses characterize the area. *The majority of residential development in People's Freeway is located between Main Street and the railroad tracks (approximately 200 West).* There are no public elementary schools located in the People's Freeway neighborhood. Residential land uses are interspersed with major roadways making pedestrian circulation very difficult (italics added for emphasis).

Historic and neighborhood description. The early residents of the northern area of People's Freeway (900 to 1300 South) were mostly farmers. Artisans and small businessmen such as shoemakers, weavers and carpenters also lived in the area. Most homes in this neighborhood are fifty years old or older and are modest in appearance. West Temple Street has larger well-kept homes and mature street trees. There are groupings of Post-World War II developments (mainly bungalows) along cul-de-sac residential side streets in the southern part of the area such as Layton, MacArthur and Westwood Avenues. Especially notable is the inner court design of Boulevard Gardens, located at approximately 1780 South West Temple, where the homes face inward onto a landscaped parkway rather than to the street, providing a more intimate and private setting.

The applicant has requested amending the Central Community Future Land Use map for the subject property from Low Density Residential (1-15 dwelling units/acre) to Medium High Density Residential (30-50 dwelling units/acre). The Central Community Master Plan offers the following description of the proposed residential land use:

Medium/High-Density Residential. This land use designation is applicable in areas within the Central Community where townhouses and apartments are the dominant land use. This residential land use classification encourages townhouse style development with up to six units in a row, but also allows apartments. Medium/high-density residential areas have multi-story residential structures built at a mid-rise level of three to four stories. Examples are scattered in East Downtown, the Central Business District, the Gateway area, and in the areas between South Temple and 300 South from 500 East to 800 East (page 8, Residential Land Use).

Staff has reviewed the Central Community Master Plan and listed below the relative statements, goals, and policies:

- Preserve historic structures and residential neighborhoods (page 3, Master Plan Goals, Central Community Master Plan).
- The appropriate transition of multi-family housing with mixed land uses in designated areas supports sustainable development within the community (Livable Communities and Neighborhoods, page 3).
- Preserve low-density residential areas and keep them from being replaced by higher density residential and commercial uses (page 9, Residential Land Use Policy).

Finding: The proposed amendment and pending development comply with the first two points; however, the amendment is not compliant with the third point. However, staff finds that it is important to distinguish that the proposed amendment does not “replace” a low density residential area” but rather facilitates development of vacant and underutilized property while advancing policies of the Central Community Master Plan.

B. *Whether the proposed amendment is harmonious with the overall character of existing development in the immediate vicinity of the subject property;*

Analysis: The following zoning districts and land uses border the subject property:

Development Adjacent to 1812 South West Temple Street			
North	RO Residential Office District (1800 Mill Square – professional offices)	East	RMF-45 Moderate/High Density Multi-Family Residential District (apartments)
South	R-1/5000 Single-Family Residential District (Taylor Farm Subdivision comprised of 22 single-family dwelling units)	West	CG General Commercial (TRAX)

Although the proposed development has a higher development density than the single-family neighborhood located to the south of the subject property, it is compatible with all other surrounding land uses. In addition, the proposed development facilitates preservation of the existing historic residence, which is compatible with the adjacent single-family development.

Finding: The proposed amendment is compatible with existing development in the immediate vicinity of the subject property.

C. *The extent to which the proposed amendment will adversely affect adjacent properties:*

Analysis: Staff has not received any claims from property owners that the proposed amendment will adversely affect adjacent properties. The single-family dwellings located immediately south of the subject property are predominantly two story structures, whereas the proposed development will be three stories. To mitigate any perceived negative impacts on adjacent property, the applicant will provide a new six-foot fence and landscaping. However, staff recommends that the quantity and density of vertical growth landscaping should be increased to mitigate the applicant’s proposal to reduce building setbacks. Staff also recommends that the applicant reduce the private roadway from 26 feet to 24 feet and increase the landscape buffer along the entire south property line.

Finding: Based on compliance with recommended conditions of approval, the proposed amendment is compliant with this standard.

D. *Whether the proposed amendment is consistent with the provisions of any applicable overlay zoning districts which may impose additional standards; and*

Analysis: The subject property is not within any overlay zoning districts. However, staff recommends that the historic structure be analyzed for inclusion on the Salt Lake City Register of Cultural Resources to ensure preservation.

Finding: The proposed amendment is consistent with this standard.

- E. *The adequacy of public facilities and services intended to serve the subject property, including but not limited to roadways, parks and recreational facilities, police and fire protection, schools, storm water drainage systems, water supplies, and wastewater and refuse collection.*

Analysis: Salt Lake City Public Utilities, Engineering, Fire Protection, and the Police Department have reviewed the petition and recommended approval subject to compliance with comments provided in Attachment G – Department Comments.

Finding: The applicant has demonstrated that existing public facilities and services needed to serve the subject property will be adequate.

Conditional Use Analysis and Findings: Section 21A.54.080 of City Code states the following:

General Standards for Approval: A conditional use shall be approved if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.

In order to identify and evaluate the detrimental effects and the need for and/or adequacy of mitigating conditions, the Planning Commission shall review and consider the following:

1. *Master Plan and Code Compliance*

- a. *The proposed development is supported by the general policies of the citywide, community, and small area master plan text and the future land use map policies governing the site:*

Analysis: The proposed development is within the Central Community Master Plan area and designated as Low Density Residential. However, the applicant's petition includes a request to amend the Master Plan from Low Density Residential to Medium High Density Residential. Staff has reviewed this petition to amend the Master Plan and has recommended approval (see page 4). If the Master Plan is amended, then the applicant's petition would be supported by the general policies of the city, community master plan, and future land use map governing the site.

Finding: Pending master plan amendment, the project satisfies this standard.

- b. *The proposed development is one of the conditional uses specifically listed in this title; and*

Analysis: The proposed development (multiple-family dwellings) is a permitted use in the RMF-45 Moderate/High Density Multi-Family Residential District. Planned developments are processed as conditional uses per the City ordinance.

Finding: The project satisfies this standard.

- c. *The proposed development is supported by the general purposes and intent of the zoning ordinance including the purpose statement of the zoning district.*

Analysis: The purpose of the RMF-45 Moderate/High Density Multi-Family Residential District is "to provide an environment suitable for multi-family dwellings of a moderate/high density."

Finding: Pending the zoning map amendment, the proposed development satisfies this standard.

2. *Use Compatibility. The proposed use at the particular location is compatible with the character of the site, adjacent properties, surrounding neighborhoods, and other existing development. In determining compatibility, the Planning Commission may consider the following:*

a. *Streets or other means of access to the proposed development are suitable and adequate to carry anticipated traffic and will not materially degrade the service level on the adjacent streets;*

Analysis: Access to the site is from West Temple Street, which is classified as a Collector Street. A secondary emergency access will be from Venture Way, a public street that currently ends near the southwest corner of the site (see Attachment A – Preliminary Development Plan). Salt Lake City’s divisions of Transportation, Engineering, and Building Services (which includes Fire Protection) have reviewed the proposed development and have recommended approval subject to compliance with City standards (see Attachment G – Department Comments).

b. *The type of use and its location does not create unusual pedestrian or vehicle traffic patterns or volumes that would not be expected with the development of a permitted use. In determining unusual patterns, the Planning Commission shall consider:*

- i) *The orientation of driveways and if they direct traffic to the major streets or local streets, and, if directed to the local streets, the impacts to the safety, purpose, and character of the local streets;*
- ii) *Parking locations and size, and if parking plans encourage street side parking to the proposed use which impacts the adjacent land uses;*
- iii) *Hours of peak land use when traffic to the proposed use would be greatest and that such times and peaks would not impact the ability of the surrounding uses to enjoy the use of their properties; and*
- iv) *The hours of operation of the proposed use when compared with the hours of activity/operation of the surrounding uses and the potential of such hours of operation do not create noise, height, or other nuisances not acceptable to the enjoyment of existing surrounding uses or common to the surrounding uses.*

Analysis: The proposed development provides ingress and egress from West Temple Street, which is classified as a Collector Street. Parking lot locations, quantities and sizes are suitable for the proposed development and are compliant with City Code (102 parking stalls required, 104 parking stalls provided). Whereas the development is residential in nature a discussion regarding the hours of operation is not applicable, however traffic patterns will be similar to existing patterns within the community.

Finding: The proposed development is compliant with this standard.

c. *The internal circulation system of the proposed development is properly designed for motorized, non-motorized and pedestrian traffic, and mitigates impacts on adjacent properties;*

Analysis: The proposed internal circulation system has been designed for both motorized traffic and pedestrian access (both public and private sidewalks have been provided). On August 18, 2008 the Transportation Division completed a review of the proposed development and recommended approval stating that, “The level of impact (the) proposal is expected to impose on West Temple Street, 1700 South (a minor arterial), and 2100 South (a major arterial) are within standard growth parameters and no foreseen mitigations of the existing system are obvious.”

Finding: Whereas the Transportation Division has completed a review of the proposed development and recommended approval subject to compliance with comments contained within Attachment G – Department Comments, the project is compliant with this standard.

- d. *Existing or proposed utility and public services are adequate for the proposed development and are designed in a manner that will not have an adverse impact on adjacent land uses or resources; and*

Analysis: Existing and proposed utilities and public services have been deemed adequate by the City's Public Utilities Department.

Finding: The project satisfies this standard.

- e. *Appropriate buffering such as landscaping, setbacks, and building location, is provided to protect adjacent land uses from light, noise and visual impacts.*

Analysis: Surrounding land uses are predominately residential; therefore light and noise will be similar to what emanates from adjacent land uses. Although visual impacts created by development are often mitigated through proper landscape design, the proposed development requests a reduction of the side yard setback from 20 feet to 13 feet. Therefore staff recommends that all building structures abutting the south property line be shifted to north an additional two feet, and that all lighting be downward oriented except for highlighting of architectural and landscaping features or low wattage decorative lights.

Finding: Based upon compliance with recommended conditions of approval, the project satisfies this standard.

- f. *Detrimental concentration of existing non-conforming or conditional uses substantially similar to the use proposed. The analysis is based on an inventory of uses within a quarter mile radius of the subject property.*

Analysis: The conditional use is for a planned development due to requested design criteria modifications. The proposed use itself is a permitted use in the proposed RMF-45 Moderate/High Density Multi-Family Residential District.

Finding: Although this standard is not applicable in this case, staff has completed an inventory of uses within a quarter mile radius of the subject property and did not find a detrimental concentration of existing non-conforming uses, or conditional uses substantially similar to the proposed use (see Attachment F – Conditional Use Map).

3. *Design Compatibility. The proposed conditional use is compatible with:*

- a. *The character of the area with respect to: site design and location of parking lots, access ways, and delivery areas; impact on adjacent uses through loss of privacy, objectionable views of large parking or storage areas; or views and sounds of loading and unloading areas;*

Analysis: The character of the area is primarily residential, which is compatible with the proposed conditional use. Except for 18 covered parking stalls located in the southwest portion of site, most parking stalls are shielded from primary views. Whereas the proposed development is residential in nature, concerns with loading and unloading areas are not applicable.

Finding: Based on compliance with recommended conditions of approval, the project satisfies this standard.

- b. *Operating and delivery hours are compatible with adjacent land uses; and*

Analysis: Whereas the proposed development is residential in nature, a discussion regarding operating and delivery hours is not applicable. However, staff recommends that all dumpster locations be enclosed with masonry walls and a solid opaque gate. Dumpster enclosures should also be buffered with landscaping to reduce noise and to soften negative visual impacts.

Finding: Although standard is not generally applicable, staff recommends proper screening and landscape buffering of dumpster enclosures.

- c. *The proposed design is compatible with the intensity, size, and scale for the type of use, and with the surrounding uses.*

Analysis: The proposed residential design is comparable and compatible with other similar multiple-family dwellings in the City. Materials used will be synthetic stone and stucco, metal trim, and other building materials commonly used in residential construction.

Finding: The project satisfies this standard.

4. *Detriment to Persons or Property. The proposed use will not, under the circumstances of the particular case and the conditions imposed, be detrimental to the health, safety, and general welfare of persons, nor be injurious to property and improvements in the community, existing surrounding uses, buildings, and structures. The applicant shall demonstrate that the proposed use:*

- A. *Does not lead to deterioration of the environment by emitting pollutants into the ground or air that cause detrimental effects to the property or to neighboring properties;*

Analysis: The project involves a residential use and does not emit unusual pollutants into the ground or air. No deterioration of the environment or detrimental effect to neighboring properties is expected.

Finding: The project satisfies this standard.

- B. *Does not encroach on rivers or streams or direct run off into rivers or streams;*

Analysis: The project is not located next to a river or stream.

Finding: The project satisfies this standard.

- C. *Does not introduce hazards or potentials for damage to neighboring properties that cannot be mitigated; and*

Analysis: Staff finds no aspect of the project that would introduce environmental hazards or potential damage to neighboring properties.

Finding: The project satisfies this standard.

- D. *Is in keeping with the type of existing uses surrounding the property, and that as proposed the development will improve the character of the area by encouraging reinvestment and upgrading of surrounding properties.*

Analysis: The existing surrounding uses are primarily residential in nature. As proposed, the development will improve this site, which has been vacant for a number of years and will encourage reinvestment and improvement of this area.

Finding: The project satisfies this standard.

5. *Compliance with Other Applicable Regulations. The proposed development complies with all other applicable codes and ordinances.*

Analysis: If the zoning modifications requested by the applicant (see pages 3-4) are approved, the proposed development must comply with all other applicable codes and ordinances prior to the issuance of a building permit.

Finding: The project satisfies this standard.

Planned Development Staff Analysis and Findings: Section 21A.54.150.C of City Code states that, "In approving any planned development, the planning commission may change, alter, modify or waive any provisions of (the Zoning) title or of the City's subdivision regulations as they apply to the proposed planned development. No such change, alteration, modification or waiver shall be approved unless the planning commission shall find that the proposed planned development:

1. *Will achieve the purposes for which a planned development may be approved pursuant to subsection A (planned development purpose statement) of this section (Section 21A.54.150);*

Analysis: Section 21A.54.150.A states that the purposes of a planned development are as follows:

1. Creation of a more desirable environment than would be possible through strict application of other city land use regulations;
2. Promotion of a creative approach to the use of land and related physical facilities resulting in better design and development, including aesthetic amenities;
3. Combination and coordination of architectural styles, building forms and building relationships;
4. Preservation and enhancement of desirable site characteristics such as natural topography, vegetation and geologic features, and the prevention of soil erosion;
5. Preservation of buildings which are architecturally or historically significant or contribute to the character of the city;
6. Use of design, landscape or architectural features to create a pleasing environment;
7. Inclusion of special development amenities; and
8. Elimination of blighted structures or incompatible uses through redevelopment or rehabilitation.

The proposed planned development will provide new, affordable senior housing that would otherwise not be constructed on the subject property. The proposal also renovates an existing historic home that would likely be demolished in a traditional development proposal that more fully complies with the strict interpretation of the zoning code. The applicant has also proposed the construction of an extensive water landscape feature that will be prominently viewed from West Temple Street for public benefit (see Attachment B –Architectural Renderings).

Finding: The proposed planned development satisfies the following purpose statements for planned developments: No's 1, 2, 5, 6, 7, and 8.

2. *Will not violate the general purposes, goals and objectives of this title and of any plans adopted by the planning commission or the city council.*

Analysis: The proposed planned development achieves the purposes for which planned development regulations were instituted by allowing the Planning Commission to modify standards to encourage development of a site with dimensional constraints (i.e. narrow frontage, deep lot, with few accessible points). The proposed planned development does not detract from the general purposes of the zoning ordinance or any plans, master plans or otherwise, adopted by the Planning Commission or City Council.

Finding: The project satisfies this standard.

Section 21A.51.150.D provides additional standards of review for a planned development and states, “Planned developments may be approved subject to consideration of the following *general conceptual guidelines*” (italics added for emphasis, as a positive finding for each standard is not required):

1. **Minimum Area:** *A planned development proposed for any parcel or tract of land under single ownership or control shall have a minimum net lot area for each zoning district as set forth in table 21A.54.150E2 of this section.*

Analysis: The RMF-45 district minimum lot area requirement for a planned development is 20,000 square feet. The subject property contains 105,633 ± square feet, which exceeds the minimum lot area required.

Finding: The project satisfies this standard.

2. **Density Limitations:** *Residential planned developments shall not exceed the density limitation of the zoning district where the planned development is proposed. The calculation of planned development density may include open space that is provided as an amenity to the planned development. Public or private roadways located within or adjacent to a planned development shall not be included in the planned development area for the purpose of calculating density.*

Analysis: The RMF-45 Moderate/High Density Multi-Family Residential District allows one residential dwelling unit per 1,000 square feet for a development area greater than one acre. Based on this regulation the subject property could potentially accommodate a maximum of 106 dwelling units. The proposed development contains 95 dwelling units, which less than the density limit for the RMF-45 zoning district:

Finding: Assuming the subject property is rezoned RMF-45 Moderate/High Density Multi-Family Residential District; staff has determined that proposed development is compliant with this standard.

3. **Consideration Of Reduced Width Public Street Dedication:**

Analysis: The project does not involve reduced width public street dedication.

Finding: This standard is not applicable.

4. **Planned Developments:** Planned developments within the TC-75, RB, R-MU, MU, CN, CB, and CSHBD zoning districts and the South State Street overlay. Also planned developments within the CS zoning district, when the district is adjacent to more than sixty percent (60%) residential zoning (within 300 feet, either on the same block or across the street). Planned developments within these zoning districts may be approved subject to consideration of the following general conceptual guidelines (a positive finding for each is not required):

- a. The development shall be primarily oriented to the street, not an interior courtyard or parking lot,
- b. The primary access shall be oriented to the pedestrian and mass transit,
- c. The facade shall maintain detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction,
- d. Architectural detailing shall emphasize the pedestrian level of the building,
- e. Parking lots shall be appropriately screened and landscaped to minimize their impact on the neighborhood,
- f. Parking lot lighting shall be shielded to eliminate excessive glare or light into adjacent neighborhoods,
- g. Dumpsters and loading docks shall be appropriately screened or located within the structure, and
- h. Signage shall emphasize the pedestrian/mass transit orientation.

Analysis: The development proposal is not within the list of applicable zoning districts.

Finding: This standard is not applicable.

5. **Perimeter Setback:** *The perimeter side and rear yard building setback shall be the greater of the required setbacks of the lot or adjoining lot unless modified by the Planning Commission.*

Analysis: The following table summarizes the yard and bulk regulations for the RMF-45 Moderate/High Density Multi-Family Residential District:

District Symbol	District Name	Minimum Lot Area	Minimum Lot Width	Maximum Building Height	Minimum Front Yard	Minimum Corner Side Yard	Minimum Interior Side Yard	Minimum Rear Yard	Maximum Building Coverage	Required Landscape Yard
RMF-45	Moderate/high density multi-family	Multi-family > 1 acre: 1,000 sf per dwelling unit	Multi-family: 80'	45'	20% of lot depth or 25'	Multi-family: 20'	Multi-family: 8' and minimum 10' between buildings of different lots	25% of lot depth or 30'	60%	Front and corner side yards Interior lots: 1 interior side yard

As previously described on page 4 of this report, the applicant seeks modification of both the side yard and rear yard building setbacks. The minimum side yard setback in the RO district located north of the subject property is 15 feet, whereas the applicant has requested a 3-foot setback. The minimum rear yard setback in the R-1/5,000 district is 20 feet, whereas the applicant has requested a setback of 13 feet. Although the rear yard setback of the proposed development is less than 30 feet as required in the RMF-45 district, it does exceed the rear yard setback in the GC district located to the west of the subject property, which is only 10 feet (applicant requested 18 feet).

Findings: The applicant's proposal does not satisfy this standard, however staff recommends that setback reductions be mitigated by increases in both the quantity and quality of landscaping, especially vertical plantings that can serve as a buffer for privacy and noise. Staff also recommends that all structures located along the south property line be shifted an additional two feet to the north.

6. **Topographic Change:** *The planning commission may increase or decrease the side or rear yard setback where there is a topographic change between lots.*

Analysis: The applicant has not submitted a topographic map of the subject property to demonstrate the existence of a topographic change, nor has staff observed any significant topography changes associated with lot lines.

Finding: Standard is not applicable to proposed development.

SUMMARY

The Planned Development process is to provide flexibility in the application of site design in order to achieve a result more desirable than through strict application of City land use regulations. The proposed design achieves a compromise between pedestrian access, vehicle access, site constraints, and compatibility with surrounding uses. By approving the proposed development, a site that has been vacant and underutilized will be developed in manner that will complement adjacent uses. Planning Staff supports the proposal with recommended conditions shown on the first page of this report.

Attachment A – Preliminary Development Plans

TAYLOR SPRINGS

SENIOR HOUSING

SUSTAINABLE DESIGN - GREEN BUILDING CONCEPT
1812 S. WEST TEMPLE STREET
SALT LAKE CITY, UTAH

PROJECT DIRECTORY

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EXECUTIVE DIRECTOR: WILLIAM NIGHSWONGER
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FUNDING PARTNERS:

-HOUSING AUTHORITY OF SALT LAKE CITY
-DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
-UTAH HOUSING CORPORATION

SHEET INDEX

- (1) A0.0 COVER SHEET
- (2) S1.0 SITE PLAN
- (3) L1.0 LANDSCAPE PLAN
- (4) A2.0B BUILDING "B" FLOOR PLANS
- (5) A2.0C BUILDING "C" BASEMENT FLOOR PLAN
- (6) A2.1C BUILDING "C" FIRST FLOOR PLAN
- (7) A2.2C BUILDING "C" SECOND FLOOR PLAN
- (8) A2.3C BUILDING "C" THIRD FLOOR PLAN
- (9) A5.0B BUILDING "B" ELEVATIONS
- (10) A5.0C BUILDING "C" ELEVATION
- (11) A5.1 OVERALL BUILDING "B" NORTH ELEVATION



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PROJECT

TAYOR SPRINGS

1812 S. WEST TEMPLE
STREET
SALT LAKE CITY, UTAH

SEAL



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FILE

DATE: SEPTEMBER 17, 2008

FILE NO: 07-211 A0.0

DATE: JP

REVISIONS

SHEET

PRELIMINARY

A0.0
COVER SHEET



THE ARCHITECTS OFFICE

499 MAIN STREET
BOISE, IDAHO 83702
V (208) 343-2931
F (208) 343-1306
WWW.TAORIDAHO.COM

OWNER:
HOUSING AUTHORITY OF SALT LAKE CITY
EXECUTIVE DIRECTOR: WILLIAM HIGHSWONGER
1778 S. WEST TEMPLE STREET
SALT LAKE CITY, UTAH 84115
(801)487-2161, FAX (801)487-3641
WEBSITE: www.haskitah.org

DESIGN/BUILD DEVELOPER:
LEGEND DESIGN AND DEVELOPMENT, LLC
TOM PERRY
7 SNOWSTAR LANE
SANDY, UTAH 84092
CELL (801)201-8130, FAX (801)576-0715
EMAIL: tomper@luno.com

PROJECT

TAYOR SPRINGS

1812 S. WEST TEMPLE STREET
SALT LAKE CITY, UTAH

SEAL



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FILE

DATE: SEPTEMBER 17, 2003

DATE: 07-21-03

DATE: ELC

REVISIONS

9-3-03 PLANNING AND ZONING DEVISIONS
REDUCE TO 55 DWELLING UNITS

SHEET

S1.0

SITE PLAN

DEVELOPMENT DATA

ONE-BEDROOM UNITS = 88
TWO-BEDROOM UNITS = 7
TOTAL UNITS = 95

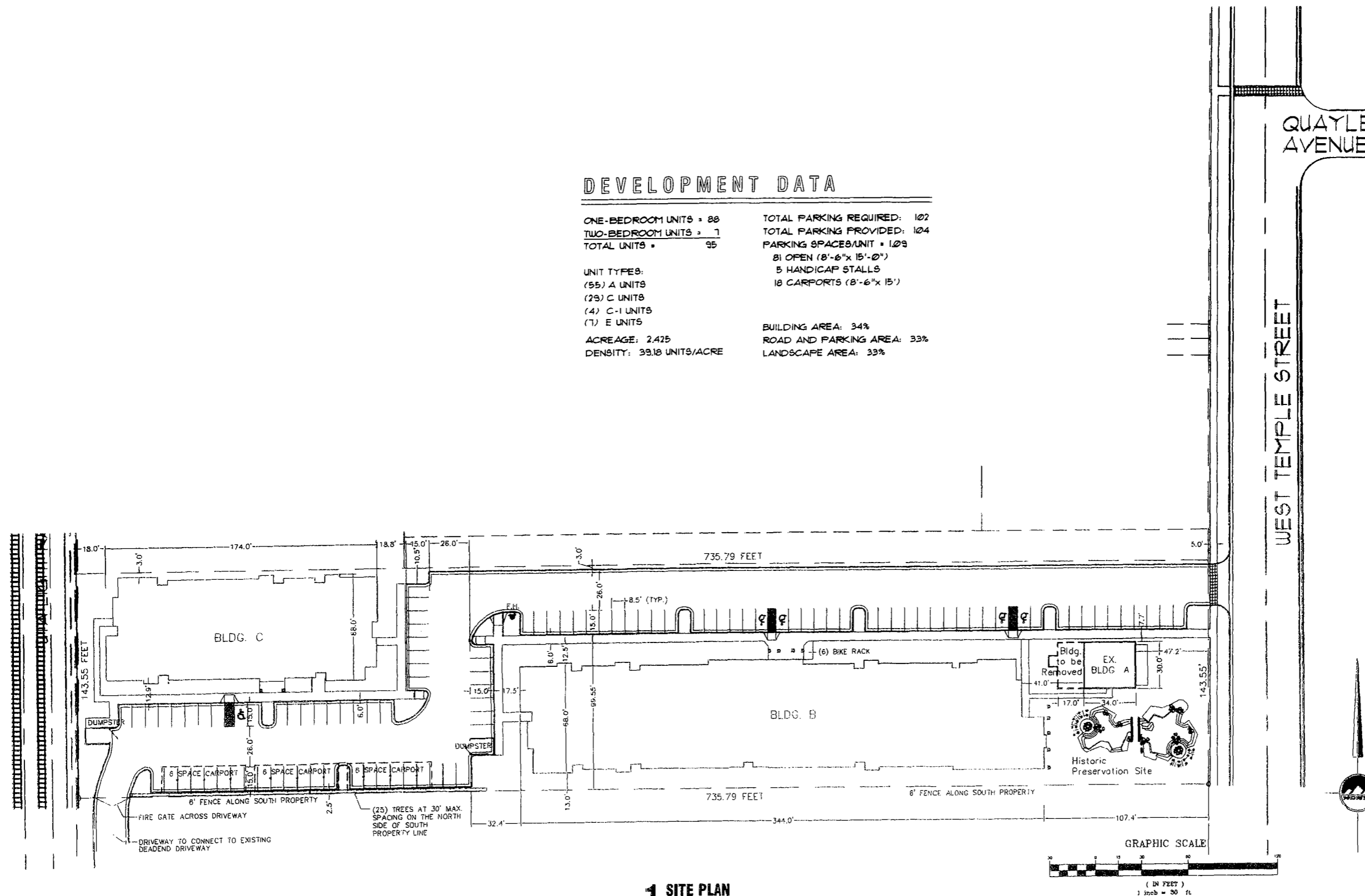
UNIT TYPES:
(55) A UNITS
(23) C UNITS
(4) C-1 UNITS
(7) E UNITS

ACREAGE: 2.425
DENSITY: 39.18 UNITS/ACRE

TOTAL PARKING REQUIRED: 102
TOTAL PARKING PROVIDED: 104
PARKING SPACES/UNIT = 1.09

81 OPEN (8'-6" x 15'-0")
5 HANDICAP STALLS
18 CARPORTS (8'-6" x 15')

BUILDING AREA: 34%
ROAD AND PARKING AREA: 33%
LANDSCAPE AREA: 33%



1 SITE PLAN
SCALE: 1" = 50'-0"

PRELIMINARY



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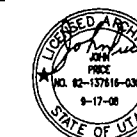
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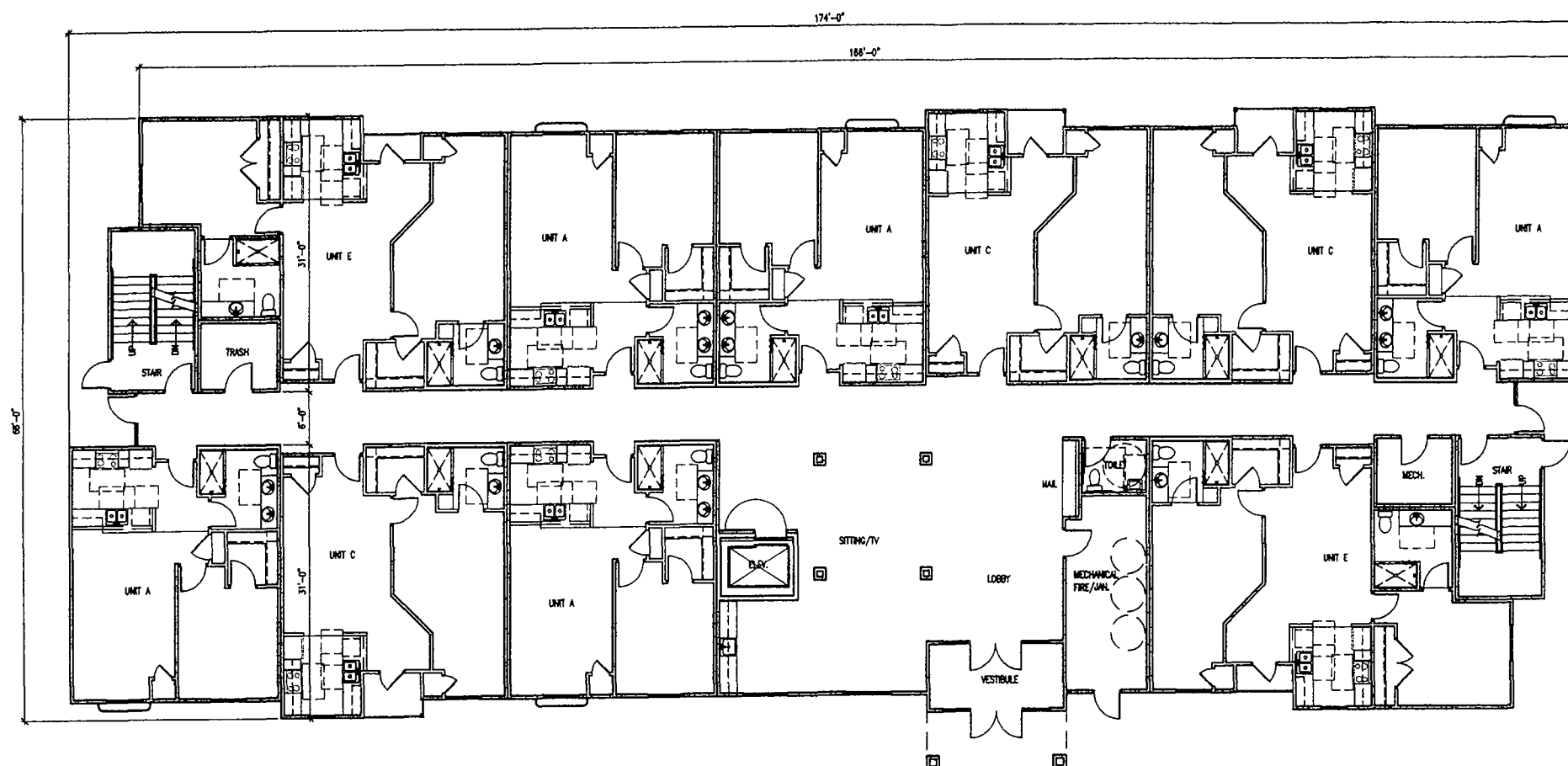
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FILE

DATE
SEPTEMBER 17, 2008
FILE NO.
07-211 A2.1C
DRAWN
ELC

REVISIONS

SHEET



1 FIRST FLOOR PLAN BLDG. 'C'
SCALE: 1/8" = 1'-0"

APARTMENT UNIT COUNT	
UNIT TYPE A	16
UNIT TYPE C	11
UNIT TYPE E	6
TOTAL UNITS	32

PRELIMINARY

A2.1C

FIRST FLOOR PLAN



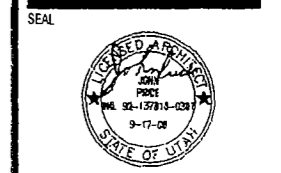
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PROJECT
TAYOR SPRINGS
1812 S. WEST TEMPLE STREET
SALT LAKE CITY, UTAH

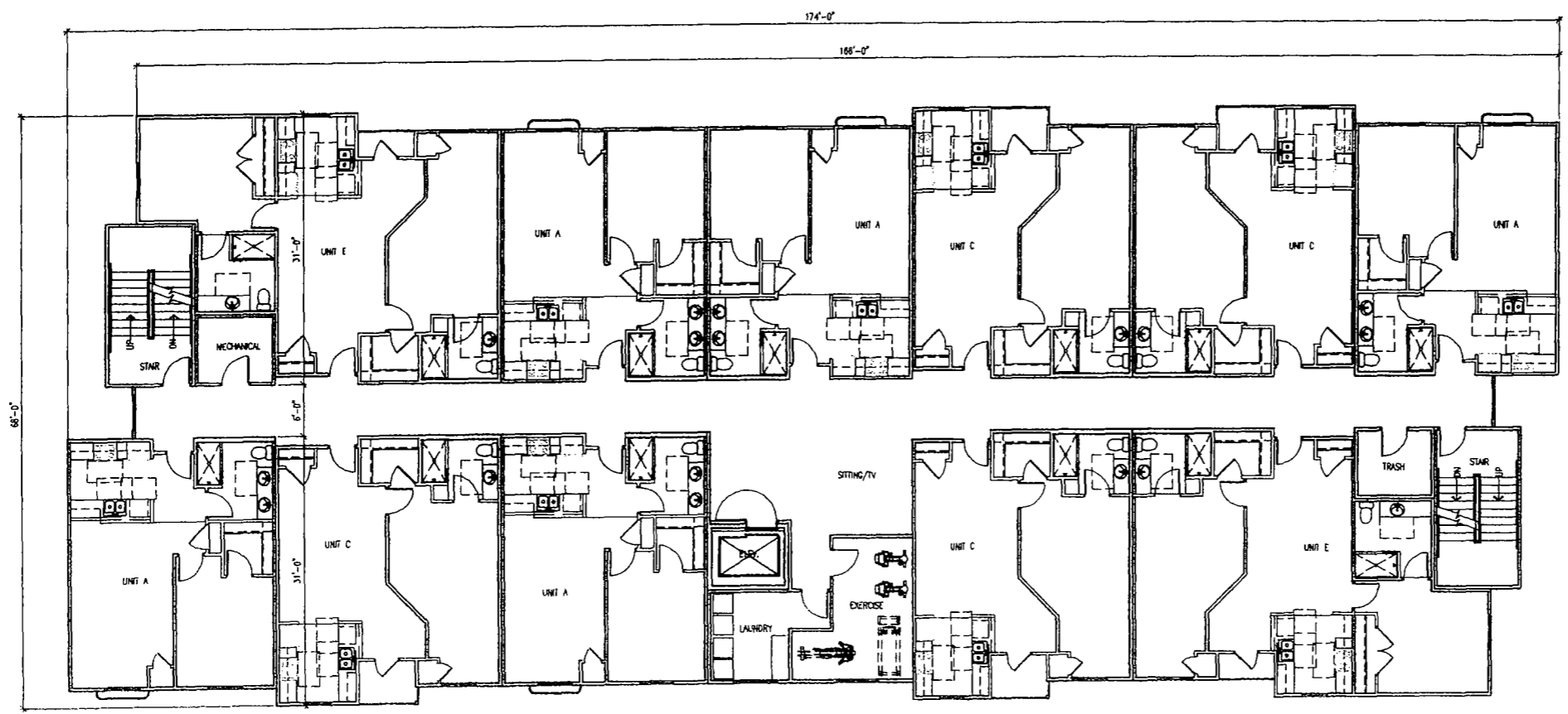


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FILE
DATE: SEPTEMBER 17, 2008
PLN: 07-211 A2.2C
SPEC: ELC

REVISIONS

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1 SECOND FLOOR PLAN BLDG. 'C'
SCALE: 1/8" = 1'-0"

PRELIMINARY **A2.2C**
SECOND FLOOR PLAN



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PROJECT

TAYOR SPRINGS

1812 S. WEST TEMPLE
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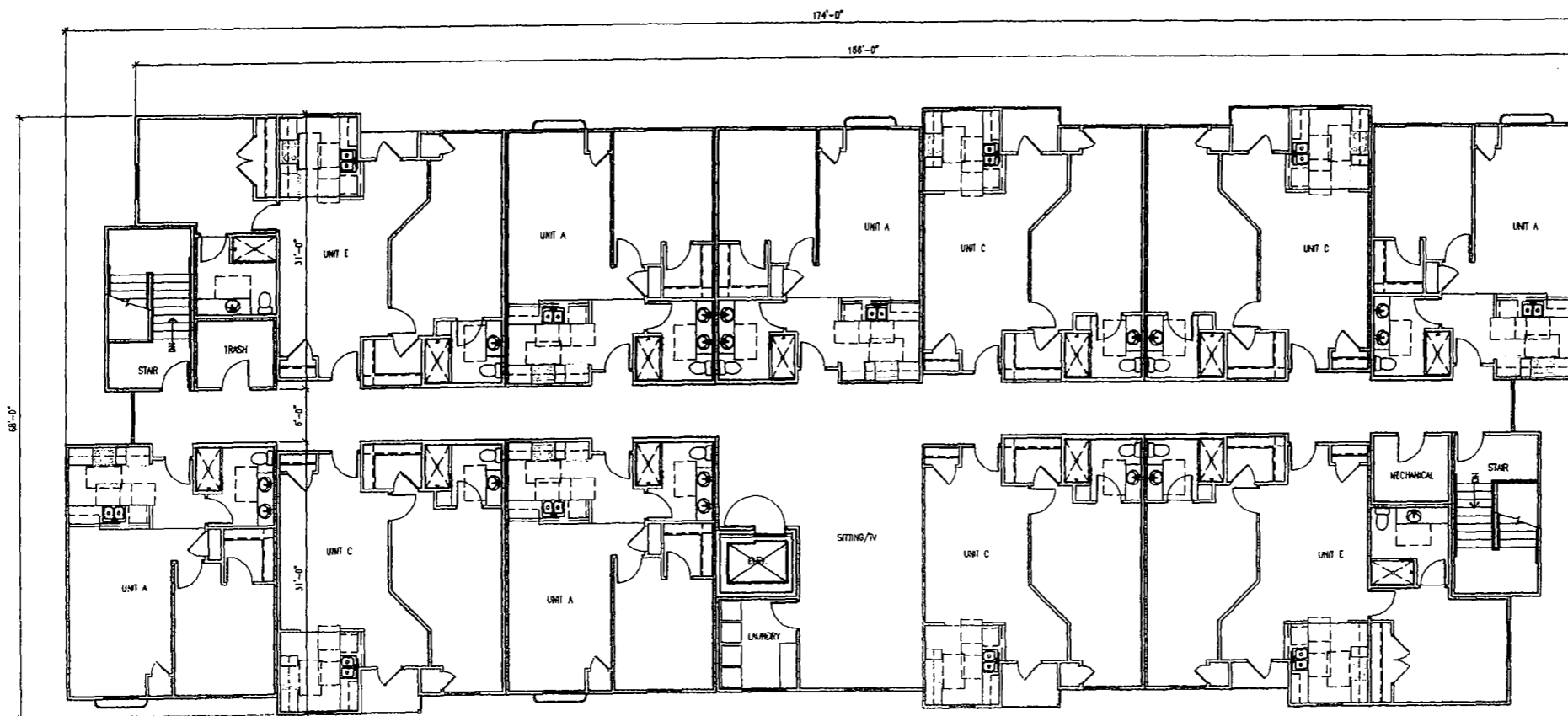
DATE: SEPTEMBER 17, 2006

FILE NO: 07-211 A2.3C

LOCATION: ELC

REVISIONS

SHEET



1 THIRD FLOOR PLAN BLDG. 'C'
SCALE: 1/8" = 1'-0"

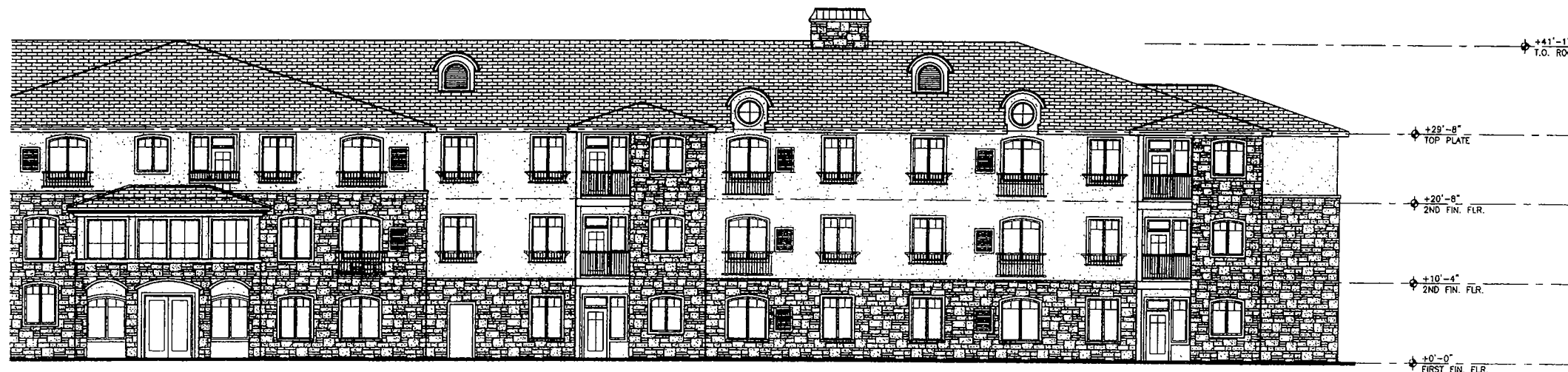
PRELIMINARY

A2.3C

THIRD FLOOR PLAN



1 BUILDING "B" NORTH ELEVATION (EAST END)
 SCALE: 1/8" = 1'-0"
 (BUILDING "C" SIMILAR)



2 BUILDING "B" NORTH ELEVATION (WEST END)
 SCALE: 1/8" = 1'-0"
 (BUILDING "C" SIMILAR)



3 BUILDING "B" EAST ELEVATION
 SCALE: 1/8" = 1'-0"
 (BUILDING "C" SIMILAR)

PRELIMINARY



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 EMAIL: tomrperry@juno.com

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FILE

DATE

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DATE
 07-211 A5.0

BY
 ELC

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A5.0B
 EXTERIOR ELEVATIONS



1 BUILDING "C" SOUTH ELEVATION)
SCALE: 1/8" = 1'-0"



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PROJECT

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A5.0C
EXTERIOR ELEVATIONS



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PROJECT

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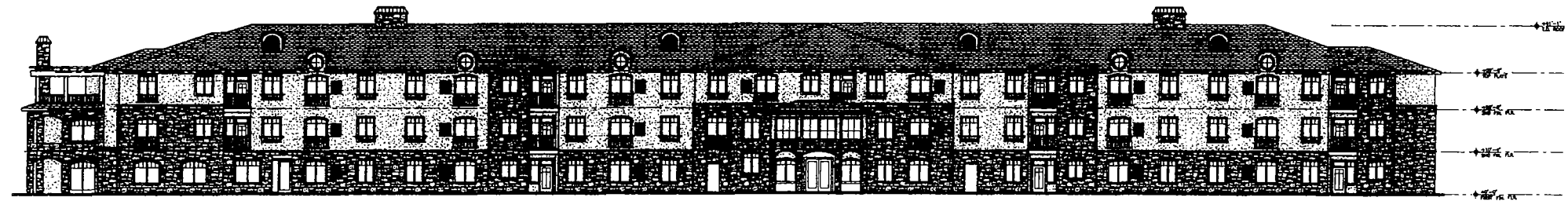
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SEPTEMBER 17, 2008
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07-211 A5.0
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A5.1B
EXTERIOR ELEVATIONS



1 BUILDING "B" NORTH ELEVATION
SCALE: 1/16" = 1'-0"

PRELIMINARY

Attachment B – Architectural Renderings



perspective 1

TAYLOR SPRINGS

LEGEND DESIGN AND DEVELOPMENT



perspective 2

TAYLOR SPRINGS

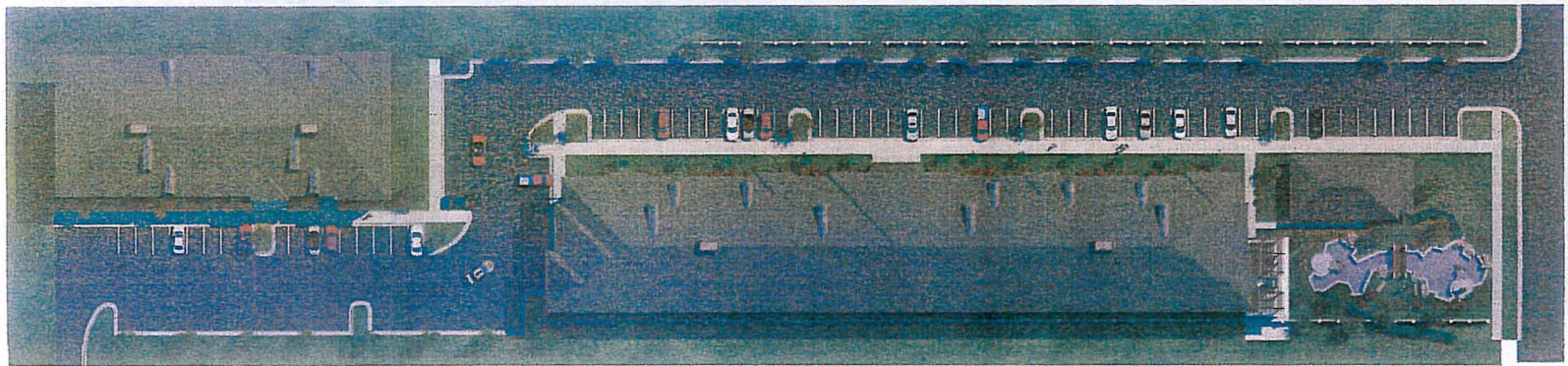
LEGEND DESIGN AND DEVELOPMENT



perspective 3

TAYLOR SPRINGS

LEGEND DESIGN AND DEVELOPMENT



site plan

TAYLOR SPRINGS

LEGEND DESIGN AND DEVELOPMENT

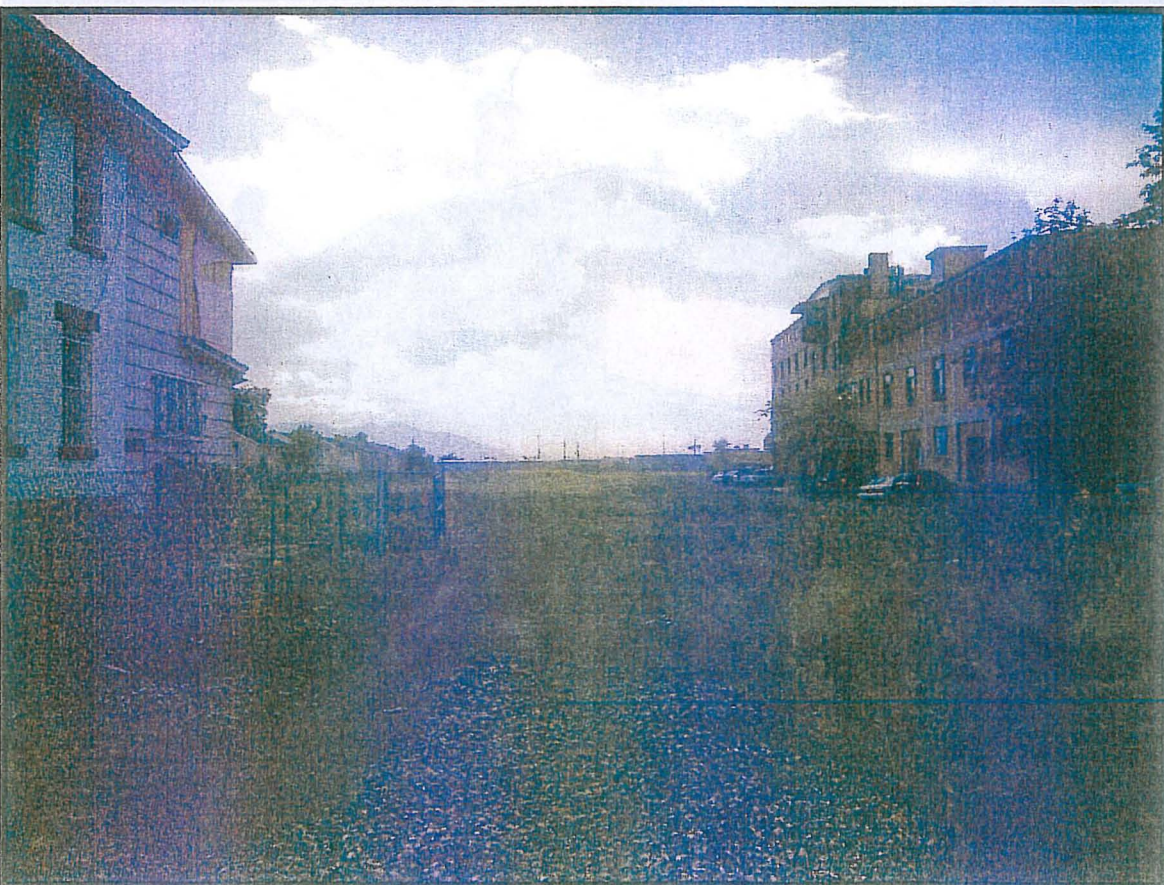
Attachment C -- Property Photographs

1812 S West Temple Street – Property Photographs

60C



Westerly View of Adjacent Single-Family Development



Westerly View of Adjacent Office Development



Front and North Side of Taylor Residence



Rear and South Side of Taylor Residence

Attachment D – DRT Notes

5012395

1812 South West Temple

Contact Person Tom Perry

Contact Email tomrperry@juno.com

Contact Phone 801 201-9130

Project Description "Housing Authority of SLC"-New senior housing proposal.

Project Notes 4/16/2008

Ken Brown Zoning

Proposal will need to address cross easement access & cross drainage easements, adequate lot area, set backs, landscaping, buffers, maximum building height, etc. Will need to address trash removal for the site. Public Utilities to review this proposal. Will need to obtain a certified address from the Engineering Dept. Parking calcs to be based on 1 stall for 1 bedroom units, 2 stalls for 2 or more bedroom units. Proposal to address the side entry provisions of 21A.24.010.

Randy Drummond Engineering

At the time of application for approval, an inventory of the condition of the existing street and/or access-way improvements will occur. At that time, the condition of said improvements will be determined, and any sub-standard improvements (curb, gutter, sidewalk, asphalt paving, etc.) will be required to be either repaired or replaced as a condition of approval of the project. Certified address required. See Alice Montoya at 535-7248. Public Way Permit to required for project completion. Licensed, bonded and insured Contractor to obtain permit to install or repair required street improvements. Soils Report required for subject property. Site plan required.

Ted Itchon Fire

Fire sprinkler, fire alarm with interconnection to remote station required. Fire standpipe- if top floor is 30' from the lowest point of Fire Dept. access. Road width if 30'= 26' wide. Fire hydrant 400' of exterior walls.

Barry Walsh Transportation

Propose to change zoning to RMF-35 & PUD & Sub. 3 story apartments. Need parking calcs, ADA. 5% bike, pedestrian access, show full dimensions, landscaping, etc. Public way improvements? Roadway revision for street scape. Widen for parking, remove park strip. Existing tree impacts, bulb-outs, intersection crossing, street lighting. Review with Planning, City Forestry, and street lights.

5/19/2008

Ken Brown Zoning

Discussed proposed connection to Venture Way. Referred them to Lynn Curt & John Spencer.
Discussed the use of the existing building (if accessory to the senior housing, additional parking may not be required). See previous notes dated 4/16/08.

Barry Walsh Transportation

Need clarification of Venture access/Lynn Curt & John Spencer. Review of accessory building use for parking. Need parking calculations. Past comments @ street scape proposal with Planning/Engineering/Forester, etc.

Brad Stewart Public Utilities

Property has well. Must keep totally separate from potable water service. Dev. Intends to use for re-circulated water feature, not irrigation or drinking. Detention, SWPPP, and BMP's required. Discussed potential issues with 6" water main. Need fire flow demand, and demand for units & then model to see if 6" is adequate. Watch Parleys irrigation system. Below grade parking, down about 6'. Ground water is at 12'. Talk to TRAX about storm water discharge to west.

Attachment E – PC Subcommittee Notes

Planning Commission Subcommittee Meeting Notes

City & County Building Room 126

August 6, 2008

Present: Mary Woodhead, Prescott Muir, Michael Maloy

Applicants: Tom Perry, Architect, and Bill Nighswonger, Executive Director for the Housing Authority of Salt Lake City gave an informal presentation of the proposal.

1812 South West Temple Street

The proposed planned development (PD) project is located on a large, deep rectangular lot. The lot would accommodate three apartment buildings for a senior residential development.

Building A

The only existing building was at the front of the lot, on the frontage along the East side of West Temple Street; an older home constructed in 1902. Even though the structure has not been designated as a landmark site and is not within a City or National Landmark district, the community expressed a desire for the preservation of the structure. After receiving public comment, the applicants decided to retain the structure, but presented no plans for significant restoration.

Buildings B and C

Two additional buildings would be constructed to the rear of the existing structure. Building B would sit in the middle-side of the lot and Building C would be located on the far west of the lot. The buildings would accommodate, between them, 105 residential units for senior housing. The buildings would consist of a mix of one and two bedroom units with a choice of three different floor plans.

The lot would be accessible by pedestrian sidewalks/bike walks through the West rear at the TRAX line, running the length of the lot along the middle, abutting Building B and up to the frontage area along West Temple Street. Vehicles would access the lot from the primary entrance on West Temple Street.

Eight common units mounted in the side yards of the buildings would deliver heat and cooling. Utility costs would be incorporated into the rent.

Underground parking would be constructed beneath Building B. The Salt Lake City Ordinance required one parking stall per bedroom. Additional parking would be used to accommodate residential staff.

The lot would be minimally landscaped on the sides to buffer the site from abutting residential properties. As the applicant owns the water rights to two artesian wells and irrigation rights to the property, two fountain features would be constructed, one would sit at the rear (West) and the other, next to the existing building at the front (East) of the lot.

The applicant is seeking permission to make the following changes:

- PUD to optimize the density allowed.
- Zoning Change from R1/5000 to RMF 45
- Master Plan amendment to change the residential density from low to moderate.
- Exception to allow minimal landscaping between the neighboring lots and throughout the development.
- Smaller setback allowances for the buildings and parking.
- Allow a sidewalk/bike walk along the TRAX line.

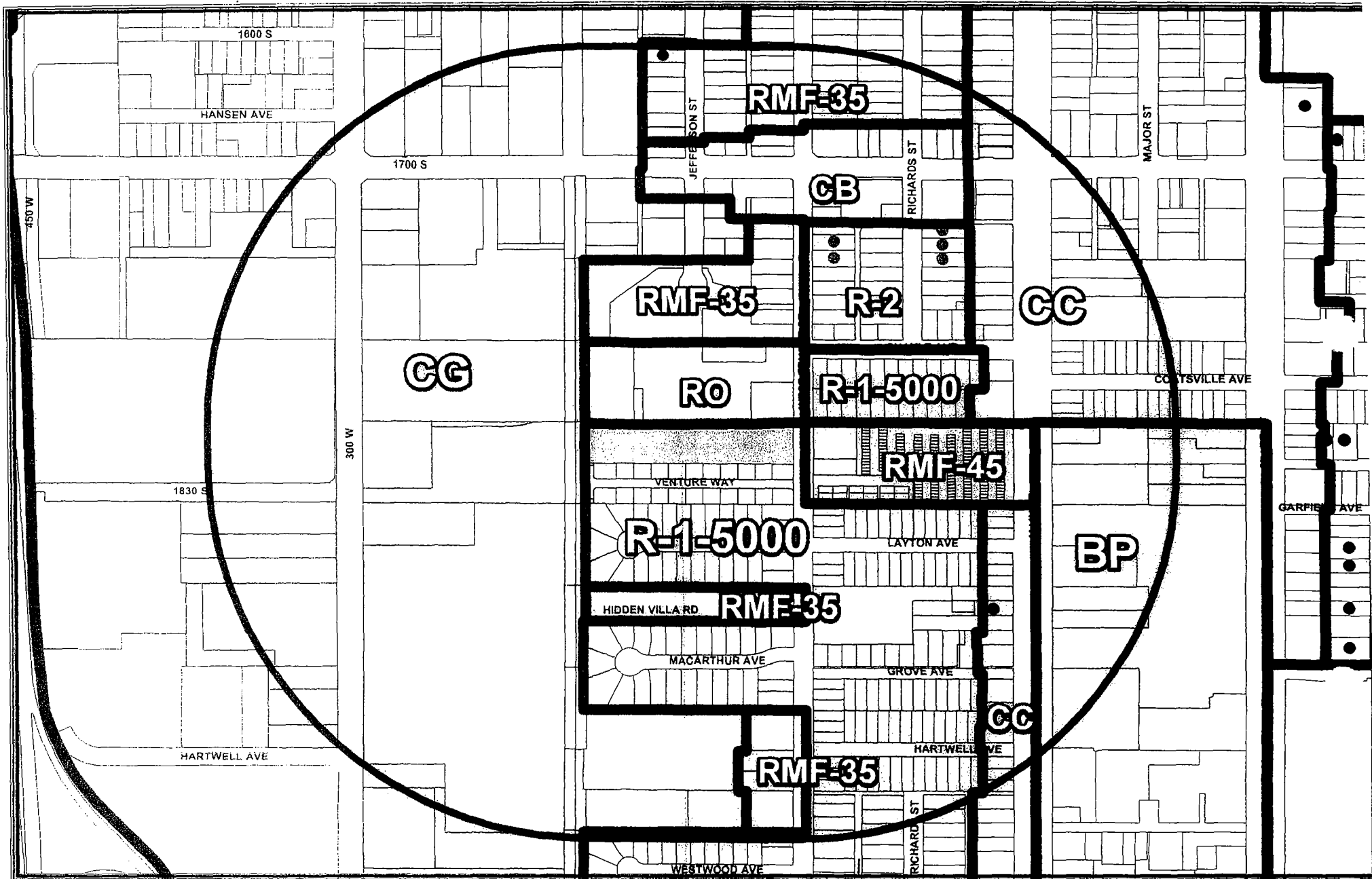
Concerns previously addressed by the Community Council:

- Preservation of the older home.
- Chronic traffic congestion in the area.
- Exit and entrance points for vehicles.

Suggestions by the Subcommittee:

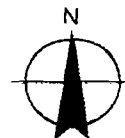
- Address East end of Building B by adding a focal point and tie in the additional property at the East to incorporate a private access road.
- Present plans to illustrate lighting for the development common areas.
- To represent the market better, the applicant should request one parking stall per unit, to keep the price of the units affordable and in light of the expectation that some of the residents would be non-drivers and others would own less than two vehicles.
- Present specific plans to restore Building A to facilitate its use as an amenity to the development. If an exception was allowed to the parking requirements, restoration of Building A becomes more affordable and it could be used as an amenity to the development community.
- Investigate the possibility that the Housing Development Corporation would consider a partnership with the City to support a small area master plan to encourage a TRAX stop at 1700 South, which would benefit the senior residents as well as the neighborhood as a whole.
- An issues only presentation at the regular meeting of the Planning Commission would not be appropriate, as the Commission would rather handle preliminary presentations with a subcommittee.

Attachment F – Conditional Use Map



- Conditional Uses in Residential Districts
- ⊙ 3-4 Dwelling Units NonConforming Uses
- Multi-Family NonConforming Uses
- ⊙ Commercial/Office NonConforming Uses

- ▭ Subject Properties
- 1320 Foot Buffer around the Subject Property
- ▭ Parcels that Intersect the 1320 Foot Buffer around the Subject Property



Attachment G – Department Comments

Maloy, Michael

From: Itchon, Edward
Sent: Wednesday, July 16, 2008 1:40 PM
To: Maloy, Michael
Cc: Butcher, Larry; McCarty, Gary; Montanez, Karleen
Subject: 400-08-20 -- 400-80-21 -- 400-08-51 1812 so West Temple

Issues:

- Provide automatic fire sprinkler systems,
- Provide Wet Standpipes,
- Provide local automatic fire detection in the rooms,
- Provide general fire detection in the common areas areas,
- Provide monitoring devices to be interconnected to a remote station.
- Fire hydrants shall be located within 400 feet of all exterior walls.

TO: MICHAEL MALOY, AICP, PRINCIPAL PLANNER,
PLANNING DIVISION

FROM: RANDY DRUMMOND, P.E., ENGINEERING

DATE: JULY 30, 2008

SUBJECT: **1812 South West Temple Street – Senior Housing- PLANNED
DEVELOPMENT
1812 South West Temple Street
Petition #410-08-51, 400-08-20 & 400-08-21**

SLC Engineering's review comments are as follows:

1. This is a proposed planned unit development project to develop an existing dwelling unit, and 105 additional senior housing units on 2.4 acres. The only street frontage involved, West Temple Street, is already fully dedicated and improved. There is one existing driveway that must be replaced and all existing curb, gutter and sidewalk that does not meet present City Standards according to APWA Std. Plan #291 must be replaced as a part of the subdivision process. The sidewalk must be replaced as per APWA Std. Plan No. 231. The curb and gutter must be replaced as per APWA Std. Plan # 205A and either 251 or 252. Also, any utility cuts in the roadway must be reviewed and approved by Salt Lake City Public Utilities. A Public Way Permit will be required for all excavations for utility service connection in South Temple Street.
2. The improvement drawings will need to have a grading plan of the proposed access roadway throughout the project, which will need to have City approval prior to construction. Additional items, such as a cover sheet with appropriate title blocks, and the limits of excavation with the proposed utility main extensions, are required. In addition, the developer will need to provide one set of mylar improvement plans with all title blocks signed by the appropriate City Departments prior to final approval of the design.
3. The developer must enter into a subdivision improvement construction agreement. This agreement requires a security device for the estimated cost of the public and access roadway improvements. The agreement also requires the payment of a stepped fee based on the estimate of constructing the public and access roadway improvements. A copy of the agreement can be picked up from my office if the developer needs one. The developer should contact Joel Harrison (535-6234) to discuss insurance requirements for the project.

Michael Maloy
1812 South West Temple Street/Planned Development
Page 2

4. The developer must enter into agreements required by the SLC Public Utility Department and pay any required fees.
5. A certified address is required prior to applying for a building permit.
6. If a plat is required, it must meet the requirements of the attached checklist.
7. At least one member of the concrete finishing crew must be ACI Certified. The name of the ACI certified finisher must be provided at the pre-construction meeting for the subdivision.

cc: Scott Weiler
Brad Stewart
Barry Walsh
Vault

Maloy, Michael

From: Lucas, Duran
Sent: Tuesday, August 05, 2008 2:03 PM
To: Maloy, Michael
Subject: Department Comment 1812 S. West Temple

August 5, 2008

Re: Petition 400-08-20
Petition 400-08-21
Petition 400-08-51

Michael,

Property Management has reviewed the referenced petition. The petitioner's development does not seem to be encroaching on any city property or public right-of-way, however, If at any time the planned development changes and an encroachment results, the petitioner will then be required to sign a lease agreement for the encroachment. With that being said, we have no objection to the petitioner's request and will defer to the other City departments' comments.

Duran Lucas
Property Management

9/13/2008

Maloy, Michael

From: Brown, Jason
Sent: Tuesday, August 05, 2008 11:07 AM
To: Maloy, Michael
Cc: Garcia, Peggy
Subject: Petitions 400-08-20 Master Plan amendment, 400-08-21 Zoning Amendment and 410-08-51 Planned Development
Categories: Program/Policy

Michael,

Salt Lake City Public Utilities has reviewed the above referenced petitions and offers the following comments:

Concerning petitions 400-08-20 and 400-08-21 Public Utilities is not opposed to the proposed changes to the master plan and zoning. Increasing the density of the units will have an impact on the existing utility infrastructure however as part of the planned development the portions of the infrastructure that maybe undersized, if any, can be improved to provide the required level of service.

The following comments are for the for Petition 410-05-51, Planned Development;

All design and construction must conform to State, County, City and Public Utilities standards and ordinances. Design and construction must conform to Salt Lake City Public Utilities General Notes.

Plans must be submitted to our office showing all existing and proposed water, sewer and storm drain pipes and connections points. The plans must show all proposed pipe routings, sizes, types, boxes, meters, detector checks, fire lines and hydrant locations. Culinary and fire connection must be separate connections at the main. For all culinary services larger than 3-inches, the water meter size must be justified by submitting AWWA M-22 method calculations or by an approved equivalent method. The engineer must provide calculations for expected peak sewer flows from this development. With this information Public Utilities will verify if the sanitary sewer system downstream for this development can handle these additional flows. If not, the developer will be responsible to provide offsite improvements as necessary to accommodate these additional flows. All existing water service not used must be killed at the main and all existing sewer services that are not used must capped at the property line per Salt Lake City Public Utilities standards.

A grading and drainage plan must be submitted for this development. Storm water flows are not allowed to sheet flow onto adjacent lots. The development will be required to provide on-site detention of the storm water. High groundwater is typical in this area. If below grade buildings or structures are proposed, a stamped geotechnical report identifying the highest expected groundwater must be submitted to Public Utilities for review and approval. This assessment must be based upon historical well records, borings, etc. All finished floor elevations must be above the highest expected groundwater elevation.

Fire Department approval will be required. Fire flow requirements, hydrant spacing and access issues will need to be resolved with the Fire Department.

All existing and proposed easements must be provided before final plat recordation. If an existing sewer lateral or a water lateral service crosses through an adjacent property, an easement for that utility must be provided.

All sewer, water and storm drain connection agreements must be completed and fees paid in full prior to any

9/13/2008

approvals from our Department. A \$3 per quarter acre drainage impact fee will be assessed for any new impervious surface added to this property. If offsite improvements are required, all construction must be bonded for by the developer.

Please call Peggy Garcia or myself if you have any questions.

Jason Brown, PE
Development Review
Salt Lake City Public Utilities
483-6729

Maloy, Michael

From: Walsh, Barry
Sent: Monday, August 18, 2008 11:14 AM
To: Maloy, Michael
Cc: Young, Kevin
Subject: RE: Document1
Categories: Program/Policy

August 18, 2008

Michael Maloy, Planning

Re: Petition 400-08-20, Master Plan Amendment from - low density to medium high density.
 Petition 400-08-21, Zoning Amendment from R-1/5000 single family to RMF-45 multi-family.
 Petition 410-08-51, Planned Development fro 105 dwelling units - one & two bedroom.

The division of transportation revised review comments and recommendations are as follows:

Due to the collector classification of West Temple on a minimum width roadway and the historical use and character of this area as single family and local business uses. We waive the recommendation that a "Traffic Impact Report" be done. The proposed development is limited to one lot with two buildings for 105 Senior housing units. The level of impact this proposal is expected to impose on West Temple, 1700 South (a minor arterial), and 2100 South (a major arterial) are with in standards growth parameters and no foreseen mitigations of the existing system are obvious.

Please clarify the written development scope 105 units for Senior housing and the - 73 unit one bedroom Senior Housing and 32 two bedroom family units - And the Site plan sheet S1.0 with 94 one bedroom units and 11 two bedroom units. These variations impact the required parking spaces and traffic generation.

The final plan submittal is subject to standard city design review compliance for pedestrian (ADA) and vehicular (passenger, service, & bicycle) safety, circulation, and staging facilities as well as impacts and upgrades as needed to the Public Way infrastructure.

Sincerely,

Barry Walsh

Cc Kevin Young, P.E.

From: Maloy, Michael
Sent: Monday, August 18, 2008 10:00 AM
To: Walsh, Barry
Subject: RE: Document1

Barry

Would you please resend your comments on this project (as it sounds like you are not going to require a traffic impact report)? Let me know if I have misunderstood the issue.

Sincerely,

Michael Maloy, AICP
 Principal Planner
 Salt Lake City Corporation
 (801) 535-7118 Voice
 (801) 535-6174 Fax

From: Walsh, Barry
Sent: Monday, August 18, 2008 9:57 AM

9/16/2008

SALT LAKE CITY BUILDING SERVICES

Preliminary Zoning Review

Log Number: Nonlog

Date: September 13, 2008

Project Name: SLC Housing Authority Senior Housing Project

Project Address: 1812 South West Temple

Contact Person: Mike Maloy

Fax Number: (801) 535-6174

Phone Number: (801) 535-7118

E-mail Address:

Zoning District: RMF-45 (Proposed)

Reviewer: Alan Hardman Phone: 535-7742

Comments

This preliminary zoning review is based on DRT meetings held on April 16, 2008, and May 19, 2008.

1. Master Plan Amendment Petition #400-08-20 must be approved.
2. Zoning Amendment Petition #400-08-21 must be approved.
3. Planned Development Petition #410-08-51 must be approved.
4. The minimum rear yard setback is 25% of the lot depth, but need not exceed 30 feet. The rear building shows only 18 feet and so does not meet the minimum setback. This must comply or be waived and/or approved by the Planned Development process.
5. The minimum side yard setback is 8 feet. The rear building shows only 3 feet on the north side of the lot and so does not meet the minimum setback. This must comply or be waived and/or approved by the Planned Development process.
6. For buildings whose principal means of entry is located along an interior side yard, the side yard shall not be less than 12 feet, 8 feet of which shall be devoted to landscape area per 21A.24.010.H. Plans do not appear to comply. This must comply or be waived and/or approved by the Planned Development process.
7. The parking spaces on the south side at the rear of the lot require a 10 foot wide landscape buffer per 21A.48.080.C1 and must be landscaped per Table 21A.48.070G (perimeter parking lot landscaping). Plans show 2' - 6".
8. The 10 wide landscape buffer along the entire south side of the lot must be landscaped per 21A.48.080.D1.
9. A cross-access agreement must be executed for the driveway that crosses the property line and exits onto the abutting lot on the north side of the project lot.
10. Verify that the surface coverage of principal and accessory buildings on the lot do not exceed 60% of the lot area.

11. Provide screened trash dumpster locations in rear yards per 21A.48.120. The trash dumpster location in the parking area near the front of the project is not allowed.
12. Public Utilities approval required.
13. Fire Department approval required.
14. Engineering Division approval required for all street and public way improvements.
15. Transportation Division approval required for all traffic-related issues, such as parking stall layout, below-grade parking structure, vehicle circulation, access from public streets, public pedestrian access, bicycle parking, etc. Approval must also include connection to Venture Way.

**5.C PLANNING COMMISSION
AGENDA AND MINUTES**

**SECOND AMENDED AGENDA FOR THE
SALT LAKE CITY PLANNING COMMISSION MEETING**
In Room 326 of the City & County Building at 451 South State Street
Wednesday, September 24, 2008 at 5:45 p.m.

The field trip is scheduled to leave at 4:00 p.m. Dinner will be served to the Planning Commissioners and Staff at 5:00 p.m., in Room 126. **Work Session**—the Planning Commission may discuss the Accela project tracking program, project updates and other minor administrative matters. This portion of the meeting is open to the public for observation

APPROVAL OF MINUTES FROM WEDNESDAY, August 13, 2008.

REPORT OF THE CHAIR AND VICE CHAIR

REPORT OF THE DIRECTOR

BRIEFING

1. **Conditional Use Project- Issues for Further Study**—The Planning Staff will review and discuss with the Planning Commission the proposed responses to issues that were raised during the City Council's recent review of conditional use regulations. The City Council requested further study of issues that were not addressed prior to the July 22, 2008 adoption of amendments to the Zoning Ordinance relating to conditional and permitted uses. The Planning Staff is requesting comment and direction from the Planning Commission prior to submitting the responses to the City Council for its review.

PUBLIC HEARING

2. **Petition 400-08-02, Driggs Avenue Street Closure at 1300 East**—the Utah Department of Transportation (UDOT) is requesting to close a portion of Driggs Avenue (approximately 2370 South and just west of 1300 East). It is proposed that Driggs Avenue will terminate in a cul-de-sac at this location. The purpose of the street closure is to accommodate the reconfiguration of the east bound I-80 off ramp at approximately 1300 East. The subject closure is located in City Council District 7 represented by Søren Simonsen (Staff contact: Lex Traughber at 535-6184 or lex.traughber@slcgov.com).

3. **Crestview Holdings Master Plan and Zoning Map Amendment**—a request by Juston Puchar, with Crestview Holdings, for a master plan and zoning approximately 356 to 358 North Redwood Road. The
proposed master plan and zoning map amendment for a
light (8) unit multi-family residential development.
The property is located in City Council District 7 represented by Michael Maloy (Staff contact: Michael Maloy at 535-7118 or michael.maloy@slcgov.com).

Postponed

- a. **Petition 400-08-01** Community Land Use Map Amendment for the property located at approximately 1812 South West Temple Street. The applicant is requesting an amendment of the Northwest to Medium Density Residential.
- b. **Petition 400-08-02** Map for the property located at approximately 1812 South West Temple Street. The applicant is requesting an amendment of the Salt Lake City Zoning Ordinance to allow for 85 Moderate Density Multi-Family.

4. **West Temple Senior Housing Master Plan Map Amendment, Zoning Map Amendment, and Planned Development**—a request by Bill Nighswonger, Executive Director of the Housing Authority of Salt Lake City, for a master plan amendment, zoning map amendment, and planned development for property located at approximately 1812 South West Temple Street. The proposed master plan amendment, zoning map amendment, and planned development petition would accommodate a proposed 95 unit senior-housing residential development. The property is located in City Council District Five represented by Jill Remington-Love (Staff contact: Michael Maloy at 535-7118 or michael.maloy@slcgov.com).

- a. **Petition 400-08-20 Master Plan Amendment**—the applicant is requesting approval to amend the Central Community Future Land Use map for the property from Low Density Residential (1-15 dwelling units/acre) to Medium High Density Residential (30-50 dwelling units/acre).
- b. **Petition 400-08-21 Zoning Map Amendment**—the applicants are requesting approval to change the zoning of the property from CB Community Business to RMU-45 Residential Mixed Use.
- c. **Petition 410-08-51 Planned Development**—the applicant is requesting approval of a planned development containing 105 units for senior housing on the property. The proposal includes renovation and reuse of an existing single-family dwelling as an "amenity" for the project.

5. **Petition 400-08-18, a legislative action initiated by the Salt Lake City Council**—a request by the City Council for the preparation of an ordinance that would restrict the distance between businesses in Salt Lake City that provide "payday-loan check cashing services," and consider expanding the ordinance to cover the ratio of businesses to the number of people served, and where those businesses should be allowed (Staff contact: Everett Joyce at 535-7930 or everett.joyce@slcgov.com).

Visit the Planning and Zoning Enforcement Division's website at www.slcgov.com/CED/planning for copies of the Planning Commission agendas, staff reports, and minutes. Staff Reports will be posted the Friday prior to the meeting and minutes will be posted two days after they are ratified, which usually occurs at the next regularly scheduled meeting of the Planning Commission.

**SALT LAKE CITY
PLANNING COMMISSION MEETING
In Room 315 of the City & County Building
451 South State Street, Salt Lake City, Utah
Wednesday, September 24, 2008**

Present for the Planning Commission meeting were Chair Matthew Wirthlin, Vice Chair Mary Woodhead and Commissioners: Peggy McDonough, Babs De Lay, Kathy Scott, Susie McHugh, Tim Chambless, and Frank Algarin. Commissioner Prescott Muir was excused from the meeting.

Present from the Planning Division: Wilf Sommerkorn, Planning Director; Joel Paterson, Acting Deputy Director; Lynn Pace, Deputy City Attorney; Everett Joyce, Senior Planner; Nole Walkingshaw, Senior Planner; Michael Maloy, Principal Planner, Cheri Coffey, Planning Manager, and Tami Hansen, Planning Commission Secretary.

A roll is being kept of all who attended the Planning Commission Meeting. Chair Wirthlin called the meeting to order at 5:47 p.m. Audio recordings of the Planning Commission meetings are retained in the Planning Office for an indefinite period of time.

A field trip was held prior to the meeting. Planning Commissioners present were: Frank Algarin, Tim Chambless, Peggy McDonough, Susie McHugh, Kathy Scott, and Matthew Wirthlin. Staff members present were: Michael Maloy and Joel Paterson.

6:41:20 PM West Temple Senior Housing Master Plan Map Amendment, Zoning Map Amendment, and Planned Development—a request by Bill Nighswonger, Executive Director of the Housing Authority of Salt Lake City, for a master plan amendment, zoning map amendment, and planned development for property located at approximately 1812 South West Temple Street. The proposed master plan amendment, zoning map amendment, and planned development petition would accommodate a proposed 95 unit senior-housing residential development. View: [Staff Report](#)

Petition 400-08-20 Master Plan Amendment—the applicant is requesting approval to amend the Central Community Future Land Use map for the property from Low Density Residential (1-15 dwelling units/acre) to Medium High Density Residential (30-50 dwelling units/acre).

Petition 400-08-21 Zoning Map Amendment—the applicants are requesting approval to change the zoning of the property from R-1/5,000 Single Family Residential District to RMF-45 Moderate/High Density Multi-family Residential District.

Petition 410-08-51 Planned Development—the applicant is requesting approval of a planned development containing 95 units for senior housing on the property. The proposal includes renovation and reuse of an existing single-family dwelling as an “amenity” for the project.

Chair Wirthlin recognized Michael Maloy as staff representative.

7:00:32 PM Public Hearing

The following person spoke or a submitted hearing card in *support* for the proposed petition: **Bill Davis** (332 West 1700 South) Chair of the Peoples Freeway Community Council.

7:19:59 PM Commissioner Scott made a motion regarding Petitions 400-08-20, 400-08-21, and 410-08-51 based on the recommendations found in the staff report, and information heard and considered at the meeting, that the Planning Commission transmit a favorable recommendation to the City Council:

1. To amend the Central Community Future Land Use map from Low Density Residential (1-15 dwelling units/acre) to Medium High Density Residential (30-50 dwelling units/acre) for property located at 1812 South West Temple Street.
2. Transmit a favorable recommendation to the City Council to amend the Salt Lake City Zoning Map from R-1/5,000 Single-Family Residential District, to RMF-45 Moderate/High Density Multi-Family Residential District for property located at 1812 South West Temple Street.
3. The Planning Commission grant approval for a planned development containing 95 dwelling units for the senior housing project subject to the following conditions:
 - a. Property must be rezoned to permit construction of the planned development proposal. Failure to obtain appropriate zoning shall render the Planning Commission approval null and void.
 - b. Approval is subject to compliance with Attachment G—Department Comments.
 - c. Illumination of the parking lot shall be sufficient to ensure public safety; however, security lighting must be shielded to control light pollution and glare. Light pole height shall not exceed 15 feet. All lighting shall be oriented downward except for the highlighting of any building architecture and landscape features, or for low wattage decorative lighting.
 - d. The preservation, exterior restoration, and maintenance of the Stanley F. Taylor House shall comply with Section 21A.34.020 G and applicable Residential Design Guidelines for Residential Historic Districts in Salt Lake City.
 - e. Landscaping plans shall be revised to comply with quantity and density requirements of buffer regulations, except for buffer width reductions specified on page 4 of this staff report. In addition, vertical growth landscaping shall be increased to mitigate proposal to reduce building setbacks. Approval of the final landscaping plan shall be delegated to the Planning Director.
 - f. Private roadway will remain at 26 feet. All building structures abutting the south property line shall be shifted northward an additional two feet to increase the landscape buffer to address privacy concerns.

Commissioner McHugh seconded the motion. All in favor voted, "Aye," the motion carried unanimously.

The meeting adjourned at 8:15 p.m.

This document, along with the digital recording, constitute the official minutes of the Salt Lake City Planning Commission held on September 24, 2008.

Tami Hansen

**6. COMMENT RECEIVED AFTER
PLANNING COMMISSION PUBLIC HEARING**

Maloy, Michael

From: Maloy, Michael
Sent: Friday, September 26, 2008 4:55 PM
To: 'Kerry Lin Hammond'
Cc: 'Bill Nighswonger'; Maloy, Michael
Subject: RE: Rezoning
Categories: Program/Policy

Kerry:

Thank you for your comments in opposition to the proposed master plan and zoning map amendments for property located at 1812 S West Temple Street. I understand your concerns with traffic and respect your position. Balancing the need for housing with efficient transportation and other City services is always a difficult proposition.

For your information, this project was reviewed by your local community – The People's Freeway Community Council – in a public meeting held on May 1, 2008. Following a presentation by the applicant, the community council expressed support for the project. In response to community concerns, the applicant committed to renovate the historic home on the property, and reduced the number of new dwelling units from 105 to 95.

On September 24, 2008, the Salt Lake City Planning Commission conducted a public hearing and recommended approval of the proposed amendments to the City Council. The City Council will make the final decision on the petitions following another public hearing (date has not yet been determined).

With regard to past promises of a 20-unit development, I personally do not know anything about that issue and would welcome more information if you have it. With regard to the City operating as a "government machine", I would encourage you to get involved with your local community council and participate sooner in the public process. Your opposition to this project is the first and only contact I have received from the public on this project.

Sincerely,

Michael Maloy, AICP
Principal Planner
Salt Lake City Corporation
(801) 535-7118 Voice
(801) 535-6174 Fax

From: Kerry Lin Hammond [mailto:kerrylin7@hotmail.com]
Sent: Friday, September 26, 2008 11:37 AM
To: Maloy, Michael
Subject: Rezoning

--Forwarded Message Attachment--

From: kerrylin7@hotmail.com
To: michael.malov@slcgov.com
Subject: West Temple Housing
Date: Tue, 23 Sep 2008 11:23:40 -0600

9/26/2008

```
.ExternalClass .EC_hmessage P
{padding:0px;}
.ExternalClass body.EC_hmessage
{font-size:10pt;font-family:Tahoma;}
```

I am writing in regards to the amendments to the proposed housing at 1812 South West Temple. We adamantly oppose increasing the housing from low density to medium, and also the additional units of 105. It was reported on the weekend that SLC has the 8th highest stress in the nation - one of the reasons being high housing density. If you look at the housing at 1400 South West Temple, the street is jammed constantly with cars and you can barely drive down those blocks. Its density is way overloaded. West Temple is a narrow street anyway. Adding that many houses is not workable.

In addition, we want to maintain that Venture Way remain a dead-end street.

We realize our comments don't matter much against the government machine, but we were promised that area would be only for about 20 more single family homes, and now it's turned into this gigantic project. We wish to strongly express our disagreement.

Kerry Hammond

160 Venture Way

SLC

466 9962

See how Windows connects the people, information, and fun that are part of your life. [See Now](#)

Get more out of the Web. Learn 10 hidden secrets of Windows Live. [Learn Now](#)

9/26/2008

7. ORIGINAL PETITION



Master Plan Amendment

OFFICE USE ONLY
 Petition No. 400-~~08-20~~
 Receipt No. Amount:
 Date Received: 6/06/2008
 Reviewed By:
 Project Planner: MICHAEL MALOY

SALT LAKE CITY PLANNING

Date: ~~6.05.08~~ 6.05.08

Name of Applicant: Housing Authority of Salt Lake City Phone: 487.2161

Address of Applicant: 1776 South West Temple

E-mail Address of Applicant: bnighswonger@qwest.net Cell/Fax 487.3641

Applicant's Interest in Subject Property: Owner

Name of Property Owner: Housing Authority of Salt Lake City Phone:

Address of Subject Property: 1812 South West Temple

General description of the proposed Master Plan Amendment: This site (2.4 acres) is currently zoned R-1-5,000. Our request is to re-zone the site to RMF-45 / Planned development

Please include with the application:

Use back or additional sheets, if necessary

1. A statement declaring the purpose for the amendment and the exact language. Include proposed boundaries, master plan area, and /or zoning district changes.
2. Declare why the present Master Plan required amending.
3. A copy of the Sidwell Map or Maps.
4. Depending upon the request, the names and addresses of all property owners within four-hundred fifty (450) feet of the subject amendment area (exclusive of streets and alleys) may need to be provided. The name, address and Sidwell number of each property owner must be typed or clearly printed on gummed mailing labels. Please include yourself and the appropriate Community Council Chair(s). The cost of first class postage for each address is due at time of application. Please do not provide postage stamps.
5. A signed statement that the petitioner has met with and explained the proposal to the appropriate Community Council(s).
6. Related materials or data supporting the application as may be determined by the Zoning Administrator.
7. Filing fee of 750.00 plus \$100.00 per acre in excess of one acre, due at the time of application.

If you have any questions regarding the requirements of this petition, please contact a member of the Salt Lake City Planning staff (535-7757) prior to submitting the petition

County tax parcel ("Sidwell") maps and names of property owners are available at:

Salt Lake County Recorder
2001 South State Street, Room N1600
Salt Lake City, UT 84190-1051
Telephone: (801) 468-3391

File the complete application at:

Zoning Administrator
451 South State Street, Room 406
Salt Lake City, UT 84111
Telephone: (801) 535-7757

Signature of Property Owner Brie Nighswonger

Remarks:

Planned Development 410-08-51
Zoning Map Amendment 400-08-21

Petition No: 400-08-20
By: Housing Authority of Salt Lake City
Master Plan Amendment
Date Filed: 06/06/2008
Address: 1812 S West Temple



Zoning Amendment

OFFICE USE ONLY	
Petition No.	400-08-21
Receipt No.	
Date Received	6/16/2006
Reviewed By	
Project Planner	MISHAEL MALOY

PLANNING COMMISSION

Address of Subject Property: 1812 So. West Temple

Name of Applicant: Housing Authority of Salt Lake City Phone: 801 487-2161 x1236

Address of Applicant: 1776 So. West Temple

E-mail Address of Applicant: bnighswonger@qwest.net Cell/Fax: 801 487-3641

Applicant's Interest in Subject Property: owner

Name of Property Owner: Housing Authority of Salt Lake City Phone: _____

Address of Property Owner: _____

Email Address of Property Owner: _____ Cell/Fax: _____

Existing Use of Property: Vacant lot + one single family house Zoning: R-1, 5000

County Tax ("Sidwell #"): _____

- Amend the text of the Zoning Ordinance by amending Section: (attach map or legal description).
- Amend the Zoning Map by reclassifying the above property from an {R-1, 5000} zone to a {RMF-45} zone.
planned development

Please include with the application:

1. A statement of the text amendment or map amendment describing the purpose for the amendment and the exact language, boundaries and zoning district.
2. A complete description of the proposed use of the property where appropriate.
3. Reasons why the present zoning may not be appropriate for the area.
4. The names and addresses of all property owners within four-hundred fifty (450) feet of the subject parcel. The name, address and Sidwell number of each property owner must be typed or clearly printed on gummed mailing labels. Please include yourself and the appropriate Community Council Chair. **The cost of first class postage for each address is due at time of application. Please do not provide postage stamps.**
5. Legal description of the property.
6. Six (6) copies of site plans drawn to scale.
7. Related materials or data supporting the application as may be determined by the Zoning Administrator.
8. If applicable, a signed, notarized statement of consent from property owner authorizing applicant to act as an agent.
9. Filing fee of \$800.00 plus \$100 for each acre over one acre is due at the time of application.

If you have any questions regarding the requirements of this petition, please contact a member of the Salt Lake City Planning staff (535-7757) prior to submitting the petition

Sidwell maps & names of property owners are available at:

Salt Lake County Recorder
 2001 South State Street, Room N1600
 Salt Lake City, UT 84190-1051
 Telephone: (801) 468-3391

File the complete application at:

Salt Lake City Planning
 451 South State Street, Room 406
 Salt Lake City, UT 84111
 Telephone: (801) 535-7757

Signature of Property Owner _____
 Or authorized agent

Bill Bingham

Remarks:

Planned Development 410-08-51
Master Plan 400-08-20

Petition No: **400-08-21**

By: **Housing Authority of Salt Lake City**

Zoning Map Amendment

Date Filed: 06/06/2008

Address: **1812 S West Temple**

**COMMUNITY DEVELOPMENT
COUNCIL SUBMITTAL CHECKLIST**

Petition Nos: 400-08-20 Master Plan Amendment and 400-08-21 Zoning Map Amendment.
The Housing Authority of Salt Lake City has requested amendment of the Central Community Future Land Use map for 2.425 ± acres of property located at 1812 S West Temple Street from Low Density Residential (1-15 dwelling units/acre) to Medium High Density Residential (30-50 dwelling units/acre). The applicant has also requested amendment of the Salt Lake City Zoning Map from R-1/5,000 Single-Family Residential District to RMF-45 Moderate/High Density Multi-Family Residential District for the aforementioned property.

Date: September 30, 2008.

Supervisor Approval: _____

Cheri Coffey

Division Director Approval: _____

[Signature]

Contact Person: Michael Maloy, AICP

Phone No. 535-7118

- Initiated by
- City Council Member
 - Property Owner
 - Board / Commission
 - Mayor
 - Other (citizen petition)

Contact Person

Bill Nighswonger, Executive Director of the
Housing Authority of Salt Lake City

Completed Check List attached:

- Alley Vacation
- Planning / Zoning
- Federal Funding
- Condominium Conversion
- Plat Amendment
- Other

Public Process:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Community Council (s) | <input checked="" type="checkbox"/> City Web Site |
| <input checked="" type="checkbox"/> Public Hearings | <input type="checkbox"/> Flyers |
| <input checked="" type="checkbox"/> Planning Commission | <input checked="" type="checkbox"/> Formal Notice |
| <input type="checkbox"/> Historic Landmark Commission | <input checked="" type="checkbox"/> Newspaper Advertisement |
| <input type="checkbox"/> HAAB review | <input type="checkbox"/> City Television Station |
| <input type="checkbox"/> Board of Adjustment | <input checked="" type="checkbox"/> On Location Sign |
| <input type="checkbox"/> City Kiosk | <input type="checkbox"/> City Newsletter |
| <input type="checkbox"/> Open House | <input type="checkbox"/> Administrative Hearing |
| <input type="checkbox"/> Other | |

Compatible with Ordinance:

Salt Lake City Code, Chapter 21A.50 Amendments
Utah State Code Annotated 10.9a.404

Modifications to Ordinance:

None (with regard to City Code text)

Approvals / Input from Other Departments / Divisions:

<u>Division</u>	<u>Contact Person</u>
<input checked="" type="checkbox"/> Attorney:	Paul Nielson, Senior City Attorney
<input type="checkbox"/> Business Licensing:	
<input checked="" type="checkbox"/> Engineering:	Randy Drummond, Engineering IV
<input checked="" type="checkbox"/> Fire:	Ted Itchon, Fire Protection Engineer
<input type="checkbox"/> HAND:	
<input type="checkbox"/> Management Services:	
<input type="checkbox"/> Mayor:	
<input type="checkbox"/> Parks:	
<input checked="" type="checkbox"/> Permits / Zoning:	Alan Hardman, Development Review Planner II
<input checked="" type="checkbox"/> Police:	Lt. Dave Askerlund, Police Operations Bureau
<input checked="" type="checkbox"/> Property Management:	Duran Lucas, Real Property Agent
<input type="checkbox"/> Public Services:	
<input checked="" type="checkbox"/> Public Utilities:	Peggy Garcia, Contracts & Connections Supervisor
<input checked="" type="checkbox"/> Transportation:	Barry Walsh, Engineering Technician VI
<input type="checkbox"/> RDA:	
<input type="checkbox"/> Zoning Enforcement:	

PETITION CHECKLIST

Date	Planner Initials	Supervisor Initials	Director Initials	Action Required
2008 06/06	<i>MM</i>	✓		Petition Delivered to Planning
6/11/08	<i>M.M.</i>	✓		Petition Assigned to <u>MICHAEL MALOY</u>
9/24/08	<i>M.M.</i>	✓		Planning Staff or Planning Commission Action Date
9/30/08	<i>M.M.</i>	<i>CC</i>		Transmittal Cover Letter Followed Template (margins, headings, returns etc)
9/29/08	<i>M.M.</i>	<i>CC</i>		Table of Contents
9/29/08	<i>M.M.</i>	<i>CC</i>		Chronology
9/30/08	<i>M.M.</i>	<i>CC</i>		Ordinance Prepared by the Attorney's Office Include general purpose statement of petition (top of ordinance) Include Strike and Bold –(Legislative Copy) (where applicable) Include Clean Copy (Ensure stamped by Attorney) Include Sidwell Numbers (where applicable) Include Legal Description-review, date and initial (where applicable) Ensure most recent ordinance used Ensure Exhibits (tables etc) are attached
9/29/08	<i>M.M.</i>	<i>CC</i>		Council Hearing Notice Include Purpose of Request Include zones affected (where applicable) Include address of property (where applicable) Include TDD Language
9/29/08	<i>M.M.</i>	<i>CC</i>		Mailing List of Petition and Labels, (include appropriate Community Councils, applicant and project planner) (include photocopy of labels)
9/9/08	<i>M.M.</i>	<i>CC</i>		Planning Commission Notice Mailing Postmark Date Verification (on agenda) Newspaper Notice for Rezoning and Master Plan Amendments (proof of publication or actual publication)
9/18/08	<i>M.M.</i>	<i>CC</i>		Planning Commission Staff Report
9/30/08	<i>M.M.</i>	<i>CC</i>		Planning Commission Minutes and Agenda
6/6/08	<i>M.M.</i>	<i>CC</i>		Yellow Petition Cover and Paperwork Initiating Petition (Include application, Legislative Intent memo from Council, PC memo and minutes or Mayor's Letter initiating petition.)
				Date Set for City Council Action: <u>10-14-08</u> Petition filed with City Recorder's Office

PETITION CHECKLIST

Date	Planner Initials	Supervisor Initials	Director Initials	Action Required
2008 06/06	<i>QYM</i>			Petition Delivered to Planning
6/11/08	<i>MM</i>			Petition Assigned to <u>MICHAEL MALOY</u>
9/24/08	<i>MM</i>			Planning Staff or Planning Commission Action Date
9/30/08	<i>MM</i>			Transmittal Cover Letter Followed Template (margins, headings, returns etc)
9/29/08	<i>MM</i>			Table of Contents
9/29/08	<i>MM</i>			Chronology
9/30/08	<i>MM</i>			Ordinance Prepared by the Attorney's Office Include general purpose statement of petition (top of ordinance) Include Strike and Bold -(Legislative Copy) (where applicable) Include Clean Copy (Ensure stamped by Attorney) Include Sidwell Numbers (where applicable) Include Legal Description-review, date and initial (where applicable) Ensure most recent ordinance used Ensure Exhibits (tables etc) are attached
9/29/08	<i>MM</i>			Council Hearing Notice Include Purpose of Request Include zones affected (where applicable) Include address of property (where applicable) Include TDD Language
9/29/08	<i>MM</i>			Mailing List of Petition and Labels, (include appropriate Community Councils, applicant and project planner) (include photocopy of labels)
9/9/08	<i>MM</i>			Planning Commission Notice Mailing Postmark Date Verification (on agenda) Newspaper Notice for Rezoning and Master Plan Amendments (proof of publication or actual publication)
9/18/08	<i>MM</i>			Planning Commission Staff Report
9/30/08	<i>MM</i>			Planning Commission Minutes and Agenda
6/6/08	<i>MM</i>			Yellow Petition Cover and Paperwork Initiating Petition (Include application, Legislative Intent memo from Council, PC memo and minutes or Mayor's Letter initiating petition.)
<p>TRANSMITTED</p> <p>SEP 30 2008</p>				<p>Date Set for City Council Action: <u>10-14-08</u></p> <p>Petition filed with City Recorder's Office</p>

TO MAYOR'S OFFICE